

AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
APRIL 15, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE *ZONING AND SPECIFIC USE PERMIT INPUT FORM* ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (2) Approval of Minutes for the March 25, 2025 Planning and Zoning Commission meeting.

(3) **SP2025-009 (BETHANY ROSS)**

Consider a request by Che Shadle of OJD Engineering on behalf of John Dunn of the Shores Country Club for the approval of a Site Plan or an existing Private Country Club on a 9.133-acre tract of land identified as Lots 2 & 3, Block A, The Shores Club House Phase Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 3 (PD-3) for General Retail (GR) District land uses, addressed as 2650 Champions Circle, and take any action necessary.

(V) PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

(4) **Z2025-011 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a PD Development Plan for eight (8) *Townhomes* on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict* and the *Residential Subdistrict*, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

(5) **Z2025-012 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by David Gamez for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.17-acre parcel of land identified as Lot 3, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 614 E. Boydston Avenue, and take any action necessary.

(6) **Z2025-013 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Brandon Spruill of Spruill Homes on behalf of Hallie Fleming for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a ten (10) acre tract of land identified Tract 22-02 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 588 Cornelius Road, and take any action necessary.

(7) **Z2025-014 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Alexander Trujillo for the approval of a Specific Use Permit (SUP) for Minor Automotive Repair Garage on a 2.692-acre parcel of land identified Lot 5, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1460 T. L. Townsend Drive, Suite 116, and take any action necessary.

(8) **Z2025-015 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision and a Guest Quarters/Secondary Living Unit on a 0.42-acre parcel of land identified as Lot 2, Block 1, Shaw Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 403B S. Clark Street, and take any action necessary.

(9) **Z2025-016 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Ryan Joyce for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 2.71-acre parcel of land identified as Lot 6, Block B, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) [*Ordinance No. 19-26*] for Single-Family 1 (SF-1) District land uses, addressed as 2201 Sanderson Lane, and take any action necessary.

(VI) **ACTION ITEMS**

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(10) **SP2025-011 (HENRY LEE)**

Discuss and consider a request by Drew Donosky of Claymoore Engineering for the approval of a Site Plan for the expansion of an existing Mini-Warehouse Facility on a 5.00-acre tract of land identified as Tract 2-6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) [*Ordinance No. 25-12*] for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2301 SH-276, and take any action necessary.

(11) **SP2025-012 (HENRY LEE)**

Discuss and consider a request by Frank Polma P.E. of R-Delta Engineers, Inc. on behalf of David Naylor of Rayburn Electric Cooperative for the approval of a Site Plan for a Private Indoor Gun Range on a 1.407-acre portion of a larger 48.6670-acre tract of land identified as Tract 3 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 44 (PD-44) [*Ordinance No. 24-30*] for Heavy Commercial (HC) District land uses, generally located on the northside of Mims Road west of the intersection of S. Goliad Street [*SH-205*] and Mims Road, and take any action necessary.

(VII) **DISCUSSION ITEMS**

(12) Director's Report of post City Council meeting outcomes for development cases (**RYAN MILLER**).

- P2025-008: Preliminary Plat for Lot 3, Block A, Ridge Road Addition (**APPROVED**)
- P2025-010: Replat for Lots 9-11, Block A, Rockwall Technology Park Addition (**APPROVED**)
- Z2025-004: Specific Use Permit (SUP) for a Guest Quarters/Secondary Living Unit and Agricultural Accessory Building/Barn for 2201 E. FM-550 (**2nd READING; APPROVED**)
- Z2025-005: Zoning Change (AG to PD) for the Erwin Farms Subdivision (**2nd READING; APPROVED**)
- Z2025-006: Zoning Change (AG to NS) for the SEC of John King Boulevard and E. Quail Run Road (**2nd READING; APPROVED**)
- Z2025-007: Specific Use Permit (SUP) for a House of Worship for 917 N. Goliad Street (**2nd READING; APPROVED**)
- Z2025-008: Zoning Change (AG to NS) for the SEC of John King Boulevard and FM-552 (**2nd READING; APPROVED**)
- Z2025-010: Amendment to Planned Development District 50 (PD-50) (**2nd READING; APPROVED**)

(VIII) **ADJOURNMENT**

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on April 11, 2025 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
MARCH 25, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

I. CALL TO ORDER

Vice-Chairman Womble called the meeting to order at 6:00PM. Commissioners present were Dr. Jean Conway, Ross Hustings, Kyle Thompson, Jay Odom John Hagaman and Carin Brock. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner Henry Lee, Planner Bethany Ross, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams, Assistant City Engineer Jonathan Browning and Civil Engineer Madelyn price.

II. APPOINTMENTS

1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

Director of Planning and Zoning Ryan Miller advised staff would provide ARB recommendations when staff presents the case.

2. Appointment with Jerret Smith to consider a request to submit a new zoning application for a Specific Use Permit (SUP) in accordance with Section 02.05(C), *Reapplication*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and take any action necessary.

Planning Technician Angelica Guevara provided a brief summary in regard to the applicant's request. This case has come before the commission previously for a request in regard to a Residential Infill that was submitted last July. The Planning & Zoning commission had sent a recommendation for approval to City Council. However, City Council ultimately denied the request due to the applicant not being present at any of the meetings. The applicant requested to submit an appointment with the Planning & Zoning Commission in order to resubmit before the year is up.

Director of Planning and Zoning Ryan Miller explained that typically when a case gets denied with prejudice they're required to not accept another application for the same thing in one (1) year. However, we are able to take a change of conditions to the Planning & Zoning Commission. Then the Planning & Zoning Commission can then review to see if there's substantial change or a reason to allow the applicant to resubmit an application.

Jerret Smith
705 S. Alamo Road
Rockwall, TX 75087

Mr. Smith came forward and explained that he addressed the concerns in regard to the driveway and also the roof pitch.

Director of Planning & Zoning Ryan Miller explained that this case was a residential infill and they had two (2) deviations one to the driveway spacing requirements and one for the roof pitch requirements and since then they have fixed the issue, to staff that would constitute as a change of conditions since they are no longer requesting deviations. Ultimately, this is a discretion for the Planning & Zoning Commission.

Commissioner Conway made a motion to approve the applicant being able to resubmit. Commissioner Hustings seconded the motion which passed by a vote of 7-0.

III. OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

Vice-Chairman Womble explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time.

Ryan Joyce
767 Justin Road
Rockwall, TX 75087

Mr. Joyce came forward and announced that on April 4th and 5th there will be a Rockwall County 4H Youth Livestock Show and Sale at Tate Farms.

Vice-Chairman Womble asked if anyone else wished to speak to come forward at this time; there being no one indicating such Vice-Chairman Womble closed the open forum.

IV. CONSENT AGENDA

65 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)*
66 *and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*
67

68 3. Approval of Minutes for the March 11, 2025 Planning and Zoning Commission meeting.
69

70 **4. P2025-008 (BETHANY ROSS)**

71 Consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a Preliminary Plat for Lot 1, Block A, Ridge
72 Road Addition being a 12.1462-acre tract of land identified as Tract 2 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned
73 Planned Development District 4 (PD-4) [*Ordinance No. 24-02*] for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District,
74 generally located east of the intersection of Ridge Road [*FM-740*] and Becky Lane, and take any action necessary.
75

76 **5. P2025-010 (BETHANY ROSS)**

77 Consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a Replat for Lots 9, 10, & 11, Block A,
78 Rockwall Technology Park Addition being a 23.1612-acre parcel of land identified as Lots 5, 7, & 8, Block A, Rockwall Technology Park Addition, City of Rockwall,
79 Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV)
80 District, generally located at the northwest corner of the intersection of SH-276 and Corporate Crossing [*FM-549*], and take any action necessary.
81

82 **Commissioner Conway made a motion to approve the Consent Agenda. Commissioner Hustings seconded the motion which passed by a vote of 7-**
83 **0.**
84

85 **V. ACTION ITEMS**
86

87 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special*
88 *exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*
89

90 **6. MIS2025-005 (BETHANY ROSS)**

91 Discuss and consider a request by Dnyanada Nevgi of SRC Land Building and Real Estate, LLC on behalf of Rajesh Malviya of Buffalo Country Properties, LLC
92 for the approval of a Miscellaneous Request for an Exception to the Screening Requirements for Residential Adjacency for a 2.649-acre parcel of land identified
93 as Lot 13, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 950 E. Ralph Hall
94 Parkway, and take any action necessary.
95

96 **Planner Bethany Ross provided a brief summary regarding the applicant's request . On August 13, 2024 the Planning & Zoning Commission approved**
97 **a site plan for a retail building and daycare facility. As part of the site plan the planning & Zoning Commission approved exceptions to the primary**
98 **and secondary articulation requirements. The applicant is requesting an approval for an exception to the residential adjacency standards for the**
99 **purpose to allow three (3)-tiered screening in lieu of the originally approved masonry wall. In this instance the applicant is proposing the three (3)-**
100 **tiered screening along the entire adjacency to the residents on the west side. The requested alternative for the use of three (3)-tiered screening along**
101 **the adjacency does not appear to have a negative impact. However, exceptions are a discretionary decision for the Planning and Zoning Commission.**
102

103 **Dnyanada Nevgi**
104 **811 S. Central Expressway**
105 **Richardson, TX 75080**
106

107 **Mrs. Nevgi came forward and provided additional details in regards to her request.**
108

109 **Commissioner Hagaman asked if it was going to be a masonry wall and now they're requesting to have vegetation instead.**
110

111 **Director of Planning and Zoning Ryan Miller explained that per the Unified Development Code (UDC) we require a six (6)-foot masonry wall for**
112 **residential adjacency but also acknowledge in the code that it might not be appropriate in all circumstances adjacent to residential. Therefore, we**
113 **allow for this secondary consideration of the Planning & Zoning Commission where it's a three (3)-tiered screening of the canopy trees and accent**
114 **trees and large shrubs and lower lever shrubs on a berm with wrought iron fence.**
115

116 **Commissioner Odom made a motion to approve MIS2025-005. Commissioner Thompson seconded the motion which passed by a vote of 7-0**
117

118 **7. MIS2025-006 (HENRY LEE)**

119 Discuss and consider a request by Daniel Melendez for the approval of a Miscellaneous Request for an Exception to allow synthetic plant materials on a 0.1230-
120 acre parcel of land identified as Lot 12, Block A, Chandlers Landing, Phase 14, City of Rockwall, Rockwall County, Texas, zoned Planned Development District
121 8 (PD-8) [*Ordinance No. 23-40*], addressed as 304 Shamrock Circle, and take any action necessary.
122

123 **Vice-Chairman Womble explained the applicant has requested to withdraw their application.**
124

125 8. Hold an election to elect a Chairman and (*if necessary*) Vice-Chairman for the Planning and Zoning Commission in accordance with Subsection 03.03(B) of
126 Article 02, *Development Review Authority*, of the Unified Development Code (UDC), and take any action necessary.
127

128 **Commissioner Odom nominated Dr. Jean Conway for Chairman. Commissioner Thompson seconded the motion which passed by a vote of 7-0.**
129

130 **VI. DISCUSSION ITEMS**
131

132 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come*
133 *forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are*
134 *considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the*
135 *following cases is April 15, 2025.*
136

137 **9. Z2025-012 (ANGELICA GUEVARA)**

138 Hold a public hearing to discuss and consider a request by David Gamez for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established*
139 *Subdivision* on a 0.17-acre parcel of land identified as Lot 3, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7)
140 District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 614 E. Bodydstun Avenue, and take any action necessary.

141
142 **Planning Technician Angelica Guevara provided a brief summary in regard to the applicant's request. The applicant is requesting approval for a**
143 **Specific Use Permit (SUP). The applicant's request does meet all the requirements for a home in this district. However, they will be requesting a**
144 **variance to the driveway spacing requirements but the location of the driveway they currently have is the only point of access to the property.**

145
146 **Commissioner Conway asked about making the driveway single.**

147
148 **Planning Technician Angelica Guevara explained that they need about 100-feet in between the driveway spacing and where the driveway is located**
149 **they wouldn't be able to meet it.**

150
151 **Susan Gamez**
152 **614 E. Bodydstun**
153 **Rockwall, TX 75087**

154
155 **Mrs. Gamez asked if there was a variance to do a carport instead of a garage.**

156
157 **Director of Planning and Zoning Ryan Miller explained that the Unified Development Code (UDC) requires a garage in this district. The carport would**
158 **require a SUP which would be able to be incorporated but you would still need a garage based on the code.**

159
160 **Vice-Chairman Womble advised that this item will come back before the Commission for discussion or action on April 15, 2025.**
161

162 **10. Z2025-013 (ANGELICA GUEVARA)**

163 Hold a public hearing to discuss and consider a request by Brandon Spruill of Spruill Homes on behalf of Hallie Fleming for the approval of a Specific Use Permit
164 (SUP) for *Residential Infill in an Established Subdivision* on a ten (10) acre tract of land identified Tract 22-02 of the W. M. Dalton Survey, Abstract No. 72, City
165 of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 588 Cornelius Road, and take any action necessary.

166
167 **Planning Technician Angelica Guevara provided a brief summary in regard to the applicant's request. The applicant is requesting approval of a**
168 **Specific Use Permit (SUP) for a residential infill. However, this home is in the Agricultural (AG) District. It does meet most of the requirements with**
169 **the exception of a pitch requirement on two (2) of the awnings.**

170
171 **Brandon Spruill**
172 **588 Cornelius Road**
173 **Rockwall, TX 75087**

174
175 **Mr. Spruill came forward and provided additional details in regards to the request.**

176
177 **Vice-Chairman Womble advised that this item will come back before the Commission for discussion or action on April 15, 2025.**
178

179 **11. Z2025-014 (BETHANY ROSS)**

180 Hold a public hearing to discuss and consider a request by Alexander Trujillo for the approval of a Specific Use Permit (SUP) for *Minor Automotive Repair*
181 *Garage* on a 2.692-acre parcel of land identified Lot 5, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C)
182 District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1460 T. L. Townsend Drive, Suite 116, and take any action necessary.

183
184 **Planner Bethany Ross provided a brief summary in regard to the applicants request. The proposed use meets all the conditional land use standards**
185 **for a minor auto repair garage. Staff added a condition of approval that no vehicles, equipment parts or inventory will be store outside.**

186
187 **Alexander Trujillo**
188 **1460 T. L Townsend**
189 **Rockwall, TX 75087**

190
191 **Mr. Trujillo came forward and expressed he is wanting to provide services for film and window tinting.**

192
193 **Vice-Chairman Womble advised that this item will come back before the Commission for discussion or action on April 15, 2025.**
194

195 **12. Z2025-015 (ANGELICA GUEVARA)**

196 Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes for the approval of a Specific Use Permit (SUP) for *Residential*
197 *Infill in an Established Subdivision* and a *Guest Quarters/Secondary Living Unit* on a 0.42-acre parcel of land identified as Lot 2, Block 1, Shaw Addition, City
198 of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 403B S. Clark Street, and take any action necessary.

200 Planning Technician Angelica Guevara provided a brief summary regarding the applicants request. The applicant is requesting approval for a Specific
201 Use Permit (SUP) for a residential infill and a guest quarter/ secondary living unit. The proposed homes do meet most of the density and dimensional
202 requirements for a home in this district with the exception of the garage orientation. It is currently 8 ½ feet in front of the front façade as opposed to
203 the require 20-feet behind the front façade. The guest quarters does meet all the requirements for a guest quarters/ secondary living unit. Staff wants
204 to remind the applicant that full kitchen facilities are not allowed in guest quarters.

205
206 **Javier Silva**
207 **58 Windsor Drive**
208 **Rockwall, TX 75087**

209
210 **Mr. Silva came forward and provided additional details in regard to the applicants request.**

211
212 **Vice-Chairman Womble advised that this item will come back before the Commission for discussion or action on April 15, 2025.**

213
214 **13. Z2025-016 (HENRY LEE)**

215 Hold a public hearing to discuss and consider a request by Ryan Joyce for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 2.71-
216 acre parcel of land identified as Lot 6, Block B, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88)
217 [Ordinance No. 19-26] for Single-Family 1 (SF-1) District land uses, addressed as 2201 Sanderson Lane, and take any action necessary.

218
219 **Senior Planner Henry Lee provided a brief summary in regard to the applicants request. The applicant is requesting approval of an accessory**
220 **building. This district is zoned Planned Development District 88 (PD-88) for single-family 1 (SF-1) land uses. Single-family 1 (SF-1) allows up to 144**
221 **SF for an accessory building and 15 feet in height. In this case the applicant is requesting 5,300 SF building and a maximum height of 24.42 feet but**
222 **we measure from midpoint therefore, in this case its 19.21 feet at the midpoint. In addition to the size and height of this when looking at the variances**
223 **the minimum roof pitch is 8:12 for all structures. In addition, the PD says all buildings should incorporate 80% masonry material. In this case, the**
224 **building is a metal building.**

225
226 **Ryan Joyce**
227 **767 Justin Road**
228 **Rockwall, TX 75087**

229
230 **Mr. Joyce came forward and explained it will be additional garage space.**

231
232 **Commissioner Thompson asked what the size of the lot is.**

233
234 **Mr. Joyce explained the total size of the lot is 5.6 acres.**

235
236 **Commissioner Conway explained her concern that this might set a precedence.**

237
238 **Commissioner Hagaman explained that he would like to see masonry on the building.**

239
240 **Vice-Chairman Womble advised that this item will come back before the Commission for discussion or action on April 15, 2025.**

241
242 **14. SP2025-011 (HENRY LEE)**

243 Discuss and consider a request by Drew Donosky of Claymoore Engineering for the approval of a Site Plan for the expansion of an existing Mini-Warehouse
244 Facility on a 5.00-acre tract of land identified as Tract 2-6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned
245 Planned Development District 46 (PD-46) [Ordinance No. 25-12] for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District,
246 addressed as 2301 SH-276, and take any action necessary.

247
248 **Senior Planner Henry lee provided a brief summary in regard to the applicants request. The applicants have requested a site plan to expand an**
249 **existing mini-warehouse facility. Staff has identified six (6) variances to the architecture being there currently is cementitious material within the first**
250 **4-feet and they have less then 4 architectural elements. They do not meet the articulation standards or the four-sided architectural standards. They**
251 **do not have 20% stone on each façade and they have greater then 50% cementitious material. When looking at the conditional land use standards.**
252 **As of right now each acre of property up to 5 acres is allowed if it's for mini-warehouse 125 units per acre. This would give you a total of 5 acres 625**
253 **units. In this case the existing facility has 321 and they are proposing an additional 383 which would bring there total to 704. They would have 79**
254 **more units then what is allowed in the conditional land use standard. ARB dd look at this and in terms of the variances related to the architecture**
255 **they wanted them to meet the overlay district standards.**

256
257 **Director of Planning & Zoning Ryan Miller explained there was a couple more variances specifically related to the conditional land use standards for**
258 **mini-warehouse. The mini-warehouse standard stipulates that all exterior walls be 100% brick and there are several others and for the most part it**
259 **does not meet the majority of the conditional land use standards.**

260
261 **Clay Cristy**
262 **1903 Central Drive**
263 **Bedford, TX 76021**

264
265 **Mr. Cristy came forward and provided additional details in regards to the applicants request. Explained he has been talking to staff about the**
266 **compensatory measures and they currently have an emergency siren and they would be working with city staff to relocate where its accessible.**

268 David Baca
269 100 N Travis St
270 Sherman, TX 75090

271
272 Mr. Baca came forward and provided additional details in regards to the request.

273
274 Director of Planning and Zoning Ryan Miller explained there is a 10-foot easement in the front of the property therefore no landscaping could be
275 planted there.

276
277 Vice-Chairman Womble advised that this item will come back before the Commission for discussion or action on April 15, 2025.
278

279 15. **SP2025-012 (HENRY LEE)**

280 Discuss and consider a request by Frank Polma P.E. of R-Delta Engineers, Inc. on behalf of David Naylor of Rayburn Electric Cooperative for the approval of a
281 Site Plan for a Private Indoor Gun Range on a 1.407-acre portion of a larger 48.6670-acre tract of land identified as Tract 3 of the W. H. Barnes Survey, Abstract
282 No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 44 (PD-44) [*Ordinance No. 24-30*] for Heavy Commercial (HC) District
283 land uses, generally located on the northside of Mims Road west of the intersection of S. Goliad Street [*SH-205*] and Mims Road, and take any action necessary.
284

285 Senior Planner Henry Lee provided a brief summary in regard to the applicants request. The applicant requested a site plan for a private indoor gun
286 range. They recently amended Planned Development District 44 (PD-44) to incorporate this into the corporate campus. They do have variances to
287 primary and secondary articulation. However, there PD allows them to match existing architecture and materials to the rest of the property. ARB did
288 make a recommendation of approval for their elevations.
289

290 Frank Polma
291 618 Main Street
292 Garland, TX 75040
293

294 Mr. Polma came forward and provided details in regard to the applicants request.

295
296 Vice-Chairman Womble advised that this item will come back before the Commission for discussion or action on April 15, 2025.
297

298 16. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).
299

- 300 • P2025-004: Preliminary Plat for Phases 1 & 2 of the Juniper Subdivision (**APPROVED**)
- 301 • P2025-005: Master Plat for the Juniper Subdivision (**APPROVED**)
- 302 • MIS2025-002: Appeal of a Planning and Zoning Commission Decision on an *Exception* to the *Fence Standards* for 1511 Orion Drive (**DENIED**)
- 303 • MIS2025-004: Miscellaneous Request for an *Exception* to the *Utility Placement Standards* for the REDC (**POSTPONED TO APRIL 21, 2025**)
- 304 • Z2025-004: Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit and Agricultural Accessory Building/Barn* for 2201 E. FM-550 (**1ST**
305 **READING; APPROVED**)
- 306 • Z2025-005: Zoning Change (AG to PD) for the Erwin Farms Subdivision (PD-46) (**1ST READING; APPROVED**)
- 307 • Z2025-006: Zoning Change (AG to GR) for the SEC of John King Boulevard and E. Quail Run Road (**1ST READING; APPROVED**)
- 308 • Z2025-007: Specific Use Permit (SUP) for a *House of Worship* for 917 N. Goliad Street (**1ST READING; APPROVED**)
- 309 • Z2025-008: Zoning Change (AG to GR) for the SEC of John King Boulevard and FM-552 (**1ST READING; APPROVED**)
- 310 • Z2025-009: Specific Use Permit (SUP) for a *Short-Term Rental* at 1827 Mystic Street (**DENIED**)
- 311 • Z2025-010: Amendment to Planned Development District 50 (PD-50) (**1ST READING; APPROVED**)
- 312 • Z2025-011: PD Development Plan for Townhomes along Glen Hill Way (**POSTPONED TO APRIL 21, 2025**)
313

314 Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.
315

316 VII. ADJOURNMENT
317

318 Vice-Chairman Womble adjourned the meeting at 6:54PM
319

320 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____
321 _____, 2025.
322

323
324
325 Attest:

326
327 _____
328 Melanie Zavala, Planning Coordinator
329
330

Dr. Jean Conway, Chairman



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Bethany Ross, *Planner*
DATE: April 15, 2025
SUBJECT: SP2025-009; *Site Plan for 2650 Champions Drive*

On March 14, 2025, the applicant -- *John Dunn* -- submitted an application for a *Site Plan* for the purpose of demolishing the existing *Club House* and reconstructing a new *Club House* on the subject property. The subject property was annexed by City Council on February 6, 1961 through *Ordinance No. 61-02 [Case No. A1961-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. Planned Development District 3 (PD-3) was originally established as part of the 1972 Zoning Ordinance, and allowed the following land uses: *Single-Family Dwellings, Single-Family Cluster Home Housing, Duplexes, Townhomes, Multiple Family Dwellings, Neighborhood Services, General Retail, Church, School, Park, Community Center, and Golf Course*. On March 20, 1989, the City Council approved a *Final Plat [Case No. PZ1989-007-01]* for the Shores Club House. On September 4, 2012, the Planning and Zoning Commission approved a *Site Plan [Case No. SP2012-019]* for the Rockwall Golf and Athletic Club allowing a metal building to provide an office and employee break room. On November 21, 2013, the Planning and Zoning commission approved a *Site Plan [Case No. SP2013-018]* for the Shores Homeowner's Association's (HOA's) clubhouse building. On December 16, 2013, a *Final Plat [Case No. P2013-040]* was approved for Lots 2 & 3, Block A, The Shores Club House Addition.

The submitted site plan shows the construction of a two (2) story *Club House* building that will have the same building footprint as the previous *Club House*. In addition, the proposed building will be concrete and metal framed with a black asphalt shingle roof. The elevations indicate that it will be comprised of 80% masonry and 20% stone, and have a maximum height of thirty (30) feet. Overall, the proposed building meets all of the requirements of Planned Development District 3 (PD-3) and the Unified Development Code (UDC); however, staff has provided some project comments which require clarification of some of the submitted exhibits. These comments are considered to be a condition of approval for this site plan. With that being said, since this site plan meets all of the applicable requirements, it is being placed on the consent agenda. Should the Planning and Zoning Commission have any questions concerning the applicant's request, the item will need to be pulled off of the consent agenda at the April 15, 2025 Planning and Zoning Commission meeting.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 3/26/2025

PROJECT NUMBER: SP2025-009
PROJECT NAME: Amended Site Plan for 2650 Champion Circle
SITE ADDRESS/LOCATIONS: 2650 CHAMPIONS CIR

CASE CAPTION: This is a request by Che Shadle of OJD Engineering on behalf of John Dunn of the Shores Country Club for the approval of a Site Plan or an existing Private Country Club on a 9.133-acre tract of land identified as Lots 2 & 3, Block A, The Shores Club House Phase Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 3 (PD-3) for General Retail (GR) District land uses, and addressed as 2650 Champions Circle.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	03/26/2025	Approved w/ Comments

03/26/2025: SP2025-009; Site Plan for 2650 Champions Circle

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Che Shadle of OJD Engineering on behalf of John Dunn of the Shores Country Club for the approval of a Site Plan or an existing Private Country Club on a 9.133-acre tract of land identified as Lots 2 & 3, Block A, The Shores Club House Phase Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 3 (PD-3) for General Retail (GR) District land uses, and addressed as 2650 Champions Circle.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

I.3 The subject property will be required to be replatted to establish the existing and proposed easements.

M.4 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. (Subsection 03.04. A, Article 11, UDC)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.5 Provide a numeric and graphic scale on the building elevations. (Subsection 03.04A, of Article 11, UDC)

M.6 EIFS is not an approved material. Please change EIFS to 3-part stucco on the building elevations.

M.7 Provide material percentages for each façade. (Subsection 04.01, of Article 05, UDC)

M.8 Show proposed footprint of Club House on the building elevations.

I.9 Please note that failure to address all comments provided by staff by 3:00 PM on April 4, 2025 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.10 Please note the scheduled meetings for this case:

(1) Planning & Zoning Work Session meeting will be held on April 15, 2025.

I.11 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	03/20/2025	Approved w/ Comments

03/20/2025: 1. Show existing footprint of Club House
2. Need to replat sewer line to be private (remove easement) prior to any construction

General Items:

- Must meet City 2023 Standards of Design and Construction
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Additional comments may be provided at time of Engineering/Building Permit.
- Engineering Plans and permit will be required for grading and concrete work.

Drainage Items:

- Existing flow patterns must be maintained.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed

Roadway Paving Items:

- All new paving to be steel reinforced concrete.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	03/20/2025	Needs Review

03/20/2025: EXTERIOR ELEVATIONS CALL OUT EIFS AS AN EXTERIOR MATERIAL - EIFS IS NOT ALLOWED

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/19/2025	Needs Review

03/19/2025: Show the location of the proposed fire department connection (FDC) for the fire sprinkler system.
FDC shall be facing and visible from the fire lane.
FDC must be within 100 feet of a fire hydrant and within 50 feet of the fire lane.
The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access.

Provide an exhibit showing the walkable pathway around the building from the fire lane. The fire lane shall be within 250 feet of all portions of the exterior building walls.

Provide an exhibit showing the walkable pathway around the building from the fire hydrant. The fire hydrant shall be within 600 feet of all portions of the exterior building walls.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/17/2025	Approved

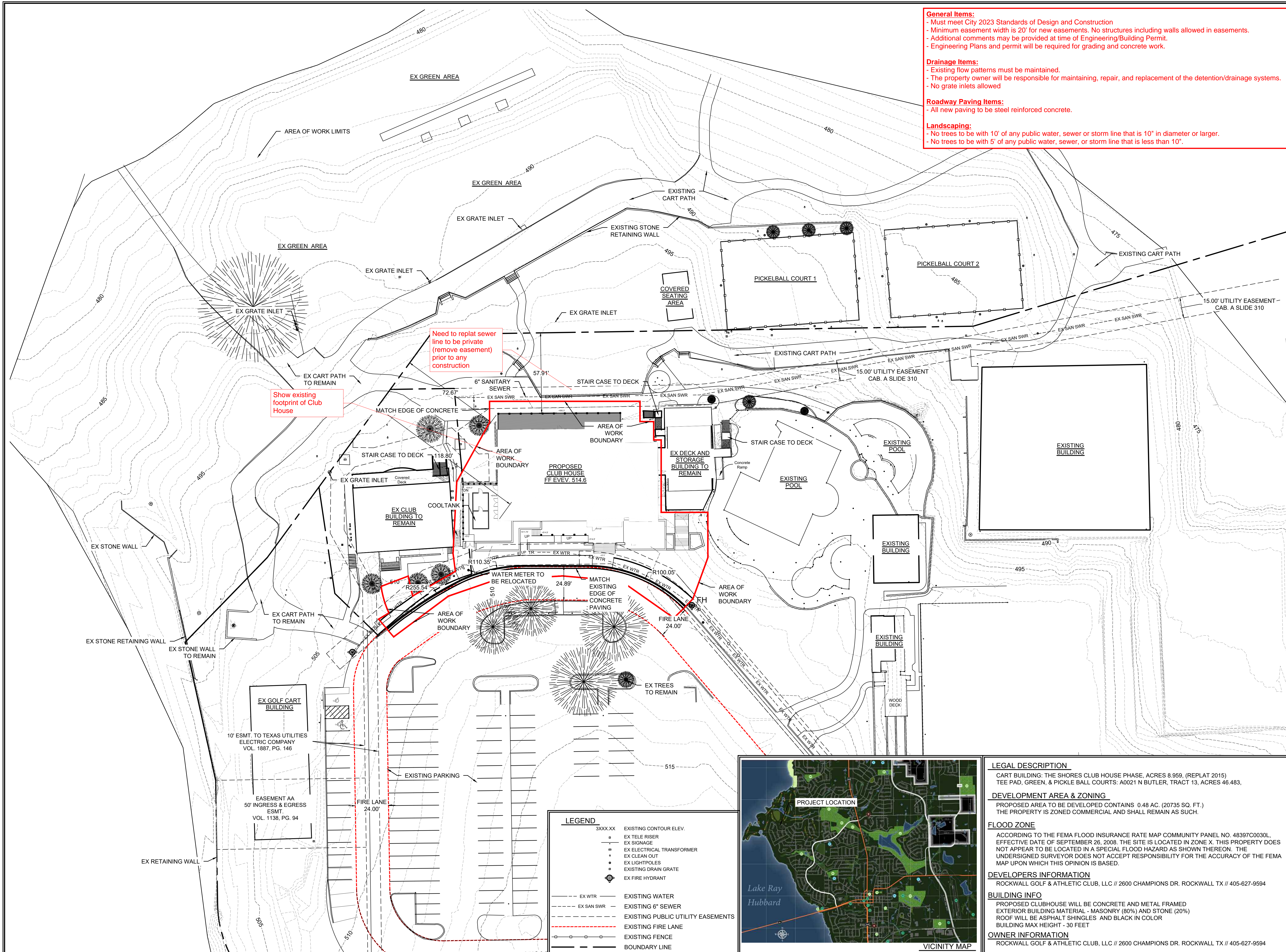
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	03/17/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/17/2025	Approved w/ Comments

03/17/2025: If any landscape or irrigation is impacted it will need to be repaired and reinstalled



- General Items:**
- Must meet City 2023 Standards of Design and Construction
 - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
 - Additional comments may be provided at time of Engineering/Building Permit.
 - Engineering Plans and permit will be required for grading and concrete work.
- Drainage Items:**
- Existing flow patterns must be maintained.
 - The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
 - No grate inlets allowed
- Roadway Paving Items:**
- All new paving to be steel reinforced concrete.
- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

AMARILLO
2425 Lakewood Drive
Amarillo, TX 79109
(806) 352-1717

WOLFORTH
328 E. Hwy 42, Unit No. 1
Wolforth, TX 79082
(806) 791-2300

OJD Engineering, LLC
The Benchmark

F-4393

Amarillo | Wolforth
www.OJDEngineering.com

ROCKWALL GOLF AND ATHLETIC CLUB HOUSE ADDITION
ROCKWALL, TX

SITE PLAN - INITIAL SUBMITTAL

Need to replat sewer line to be private (remove easement) prior to any construction

Show existing footprint of Club House

LEGEND

3XXXX	EXISTING CONTOUR ELEV.
●	EX TELE RISER
■	EX SIGNAGE
□	EX ELECTRICAL TRANSFORMER
○	EX CLEAN OUT
●	EX LIGHTPOLES
○	EXISTING DRAIN GRATE
●	EX FIRE HYDRANT
---	EXISTING WATER
---	EXISTING 6" SEWER
---	EXISTING PUBLIC UTILITY EASEMENTS
---	EXISTING FIRE LANE
---	EXISTING FENCE
---	BOUNDARY LINE



LEGAL DESCRIPTION
CART BUILDING, THE SHORES CLUB HOUSE PHASE, ACRES 8.959. (REPLAT 2015)
TEE PAD, GREEN, & PICKLE BALL COURTS: A0021 N BUTLER, TRACT 13, ACRES 46.483.

DEVELOPMENT AREA & ZONING
PROPOSED AREA TO BE DEVELOPED CONTAINS 0.48 AC. (20735 SQ. FT.)
THE PROPERTY IS ZONED COMMERCIAL AND SHALL REMAIN AS SUCH.

FLOOD ZONE
ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 48397C0030L, EFFECTIVE DATE OF SEPTEMBER 26, 2008. THE SITE IS LOCATED IN ZONE X. THIS PROPERTY DOES NOT APPEAR TO BE LOCATED IN A SPECIAL FLOOD HAZARD AS SHOWN THEREON. THE UNDERSIGNED SURVEYOR DOES NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF THE FEMA MAP UPON WHICH THIS OPINION IS BASED.

DEVELOPERS INFORMATION
ROCKWALL GOLF & ATHLETIC CLUB, LLC // 2600 CHAMPIONS DR. ROCKWALL TX // 405-627-9594

BUILDING INFO
PROPOSED CLUBHOUSE WILL BE CONCRETE AND METAL FRAMED
EXTERIOR BUILDING MATERIAL - MASONRY (80%) AND STONE (20%)
ROOF WILL BE ASPHALT SHINGLES AND BLACK IN COLOR
BUILDING MAX HEIGHT - 30 FEET

OWNER INFORMATION
ROCKWALL GOLF & ATHLETIC CLUB, LLC // 2600 CHAMPIONS DR. ROCKWALL TX // 405-627-9594

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF PRELIMINARY REVIEW UNDER THE AUTHORITY OF CHE SHADLE, P.E. 87046 ON FEB 13TH, 2025. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMITTING PURPOSES.

Case No.	02/13/2023	Sheet:	1
Date:	02/13/2023	Drawn By:	DV
Checked By:	MCS	Scale:	1" = 30'



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$5,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2650 CHAMPIONS CIRCLE, ROCKWALL TX 79087

SUBDIVISION THE SHORES CLUB HOUSE PHASE

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-3

CURRENT USE

GOLF COURSE AND ATHLETIC CLUB

PROPOSED ZONING PD-3

PROPOSED USE

GOLF COURSE AND ATHLETIC CLUB

ACREAGE 9.281

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER SHORES COUNTRY CLUB

APPLICANT OJD ENGINEERING

CONTACT PERSON JOHN DUNN

CONTACT PERSON CHE SHADLE

ADDRESS 1210 GLENWOOD

ADDRESS 2420 LAKEVIEW DR

CITY, STATE & ZIP OKC OK 73118

CITY, STATE & ZIP AMARILLO TX 79102

PHONE 405-627-9594

PHONE 806-352-7117

E-MAIL johndunnjr@okc.com

E-MAIL CHESHADLE@OJDEENGINEERING.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOHN DUNN [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 270.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14TH DAY OF FEBRUARY, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 3rd DAY OF March, 2025

OWNER'S SIGNATURE

John Dunn, Manager

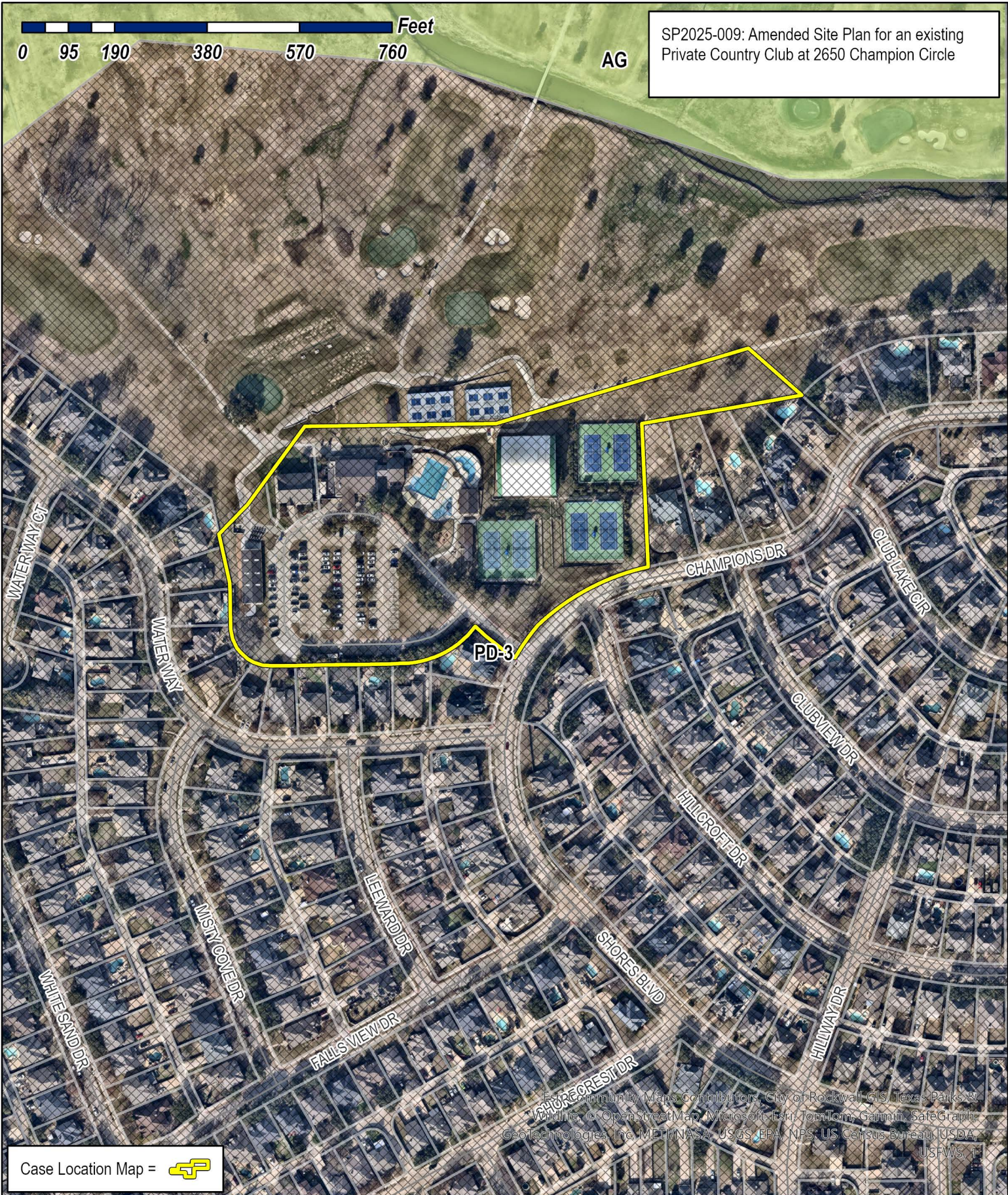
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS


Sarah Alexander
Oklahoma



0 95 190 380 570 760 Feet

SP2025-009: Amended Site Plan for an existing Private Country Club at 2650 Champion Circle



Case Location Map = 

Esri Community Maps Contributors, City of Rockwall GIS, Texas Parks & Wildlife, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, Geotechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS, etc.



City of Rockwall

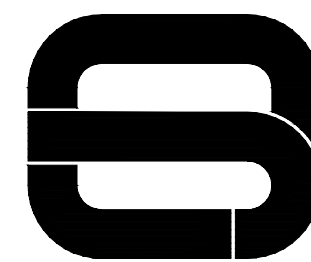
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



AMARILLO
2425 Llanowest Drive
Amarillo, TX 79109
(806) 791-2300
(806) 352-1717

OJD Engineering, LLC
The Benchmark

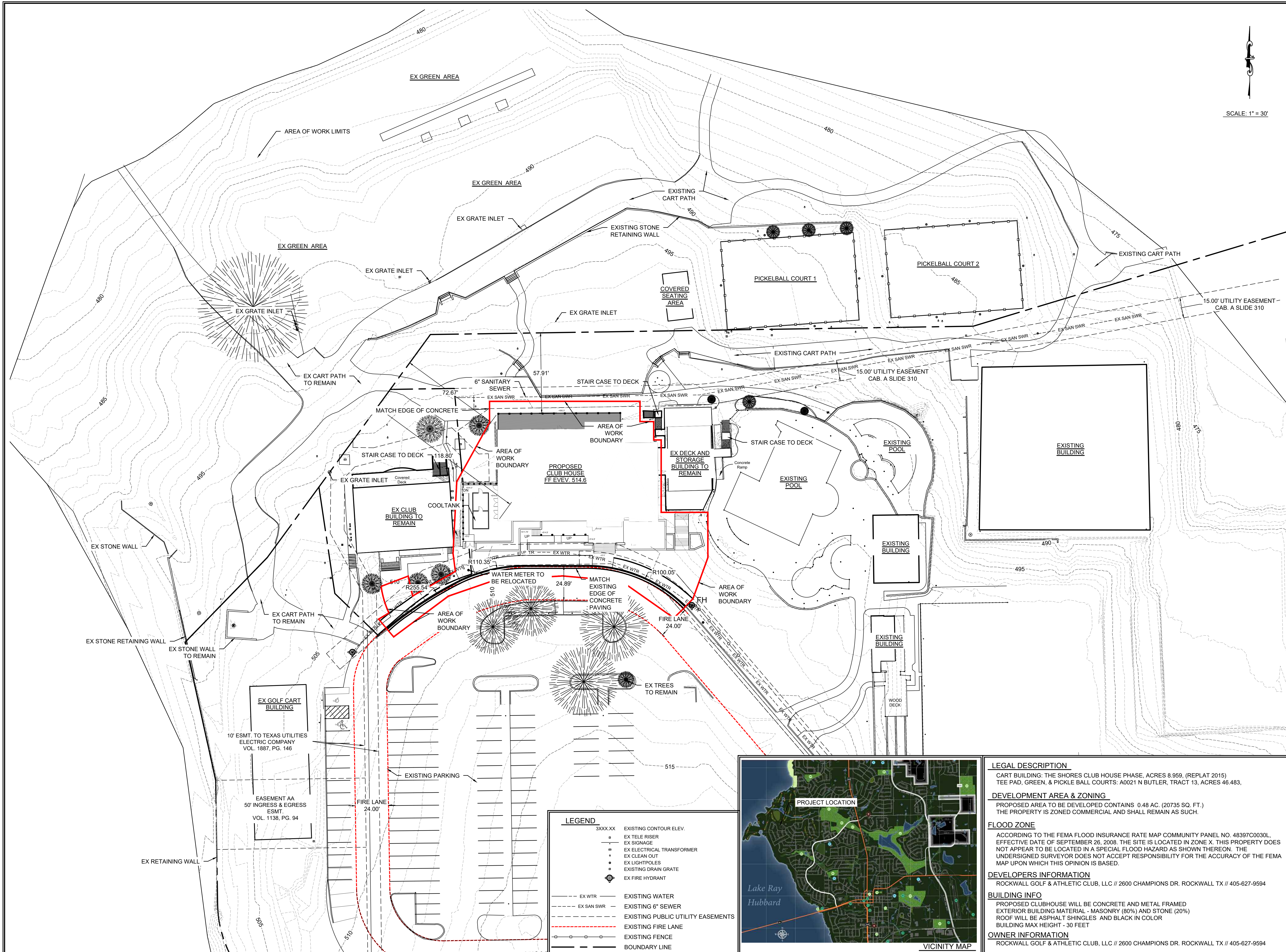


Amarillo | Wolfforth
www.OJDEngineering.com

**ROCKWALL GOLF AND ATHLETIC CLUB HOUSE ADDITION
ROCKWALL, TX**

SITE PLAN - INITIAL SUBMITTAL

SCALE: 1" = 30'



LEGEND

3XXXX	EXISTING CONTOUR ELEV.
•	EX TELE RISER
•	EX SIGNAGE
•	EX ELECTRICAL TRANSFORMER
•	EX CLEAN OUT
•	EX LIGHTPOLES
•	EXISTING DRAIN GRATE
•	EX FIRE HYDRANT
---	EXISTING WATER
---	EXISTING 6" SEWER
---	EXISTING PUBLIC UTILITY EASEMENTS
---	EXISTING FIRE LANE
---	EXISTING FENCE
---	BOUNDARY LINE



LEGAL DESCRIPTION
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TEE PAD, GREEN, & PICKLE BALL COURTS: A0021 N BUTLER, TRACT 13, ACRES 46.483.

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PROPOSED AREA TO BE DEVELOPED CONTAINS 0.48 AC. (20735 SQ. FT.)
THE PROPERTY IS ZONED COMMERCIAL AND SHALL REMAIN AS SUCH.

FLOOD ZONE
ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 48397C0030L, EFFECTIVE DATE OF SEPTEMBER 26, 2008. THE SITE IS LOCATED IN ZONE X. THIS PROPERTY DOES NOT APPEAR TO BE LOCATED IN A SPECIAL FLOOD HAZARD AS SHOWN THEREON. THE UNDERSIGNED SURVEYOR DOES NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF THE FEMA MAP UPON WHICH THIS OPINION IS BASED.

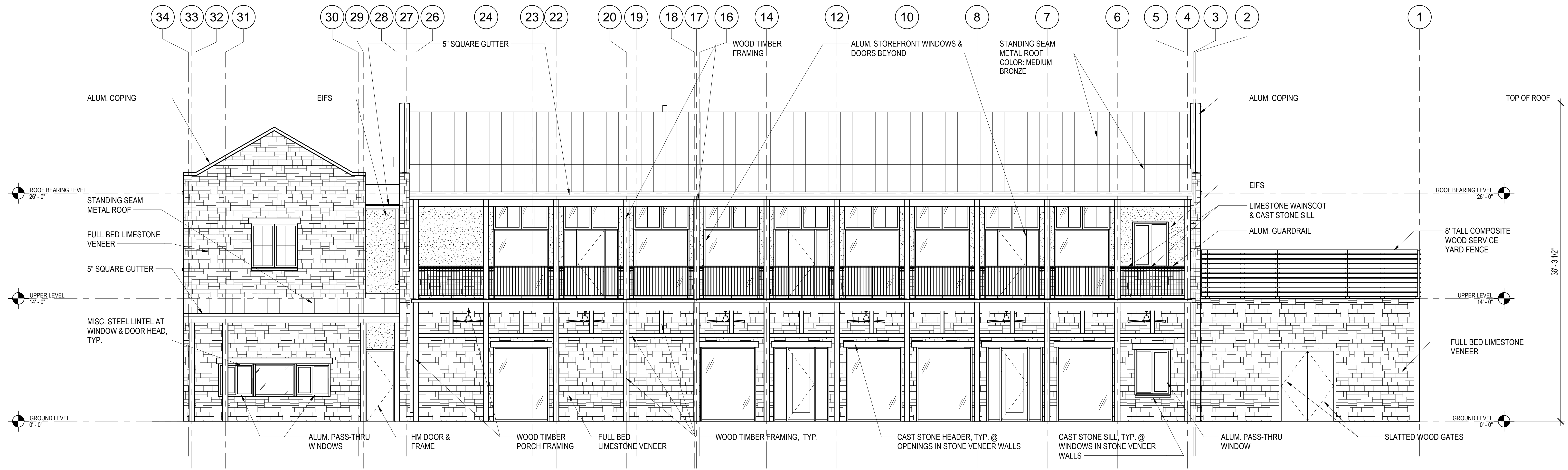
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ROCKWALL GOLF & ATHLETIC CLUB, LLC // 2600 CHAMPIONS DR. ROCKWALL TX // 405-627-9594

BUILDING INFO
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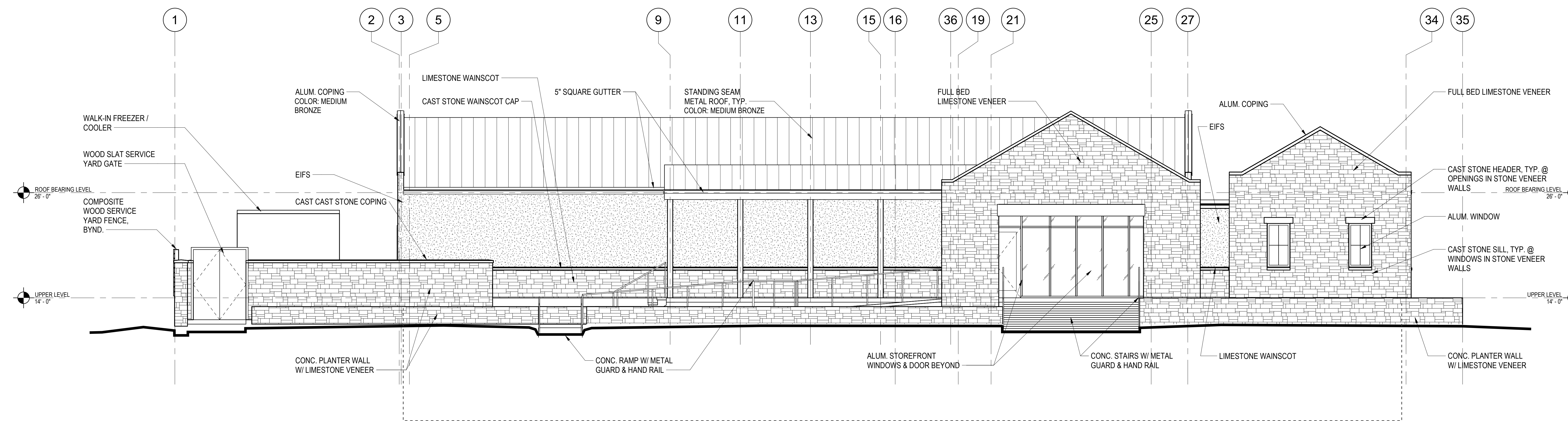
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Case No.	02/13/2023	Sheet:	1
Date:	02/13/2023	Drawn By:	DV
Checked By:	MCS	Scale:	1" = 30'



1 PLAN NORTH ELEVATION
 A3.01 3/16" = 1'-0"



2 PLAN SOUTH ELEVATION
 A3.01 3/16" = 1'-0"

SITE PLAN SUBMISSION

REVISIONS		
NO.	DATE	DESCRIPTION



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 15, 2025
APPLICANT: Tyler Adams; *Greenlight Studio*
CASE NUMBER: Z2025-011; *PD Development Plan for Rockwall Townhomes*

SUMMARY

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a *PD Development Plan* for eight (8) *Townhomes* on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict* and the *Residential Subdistrict*, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

BACKGROUND

The City Council annexed the subject property into the City of Rockwall on January 9, 1984 through the adoption of *Ordinance No. 84-05*. Upon annexation, the subject property was zoned Agricultural (AG) District. On June 19, 1989, the subject property was rezoned to Planned Development District 32 (PD-32) [*Ordinance No. 02-55*] for Commercial (C) District land uses. On December 2, 2002, the City Council approved an amendment to Planned Development District 32 (PD-32) [*Ordinance No. 02-55*] that changed the underlying zoning to the General Retail (GR) District. This Planned Development District was again amended on February 4, 2008 by *Ordinance No. 08-11*. This ordinance increased the boundaries of the district, and established a limited set of land uses for the district.

On September 20, 2010, the City Council passed *Ordinance No. 10-21*, which superseded all previous ordinances associated with Planned Development District 32 (PD-32) and established a concept plan and development standards for an approximate 78.89-acre tract of land that included the subject property. Today, this land is now commonly referred to as PD-32 or the *Harbor District*. Included within this ordinance was a concept plan that divided the district into ten (10) subdistrict, each of which contained its own set of development and land use standards. In addition, a pool of 1,161 *urban residential units* (i.e. *condominiums and/or townhomes*) and 49 *single-family residential units* (i.e. *zero-lot-line or patio homes*) was created. These units could then be allocated to properties within the district by the City Council -- *in accordance with the land use charts in the ordinance* -- on a *first-come-first-serve* basis through an interim zoning step called a *PD Development Plan*. According to Article 10, *Planned Development District Regulations*, of the Unified Development Code (UDC), "(a) *PD Development Plan* constitutes an amendment to the approved *PD Concept Plan* and *PD Ordinance* ... The purposes of a *PD Development Plan* are to allow flexibility in the development process by deferring specification of all development standards at the time of *PD District* creation and to enable developers to satisfy conditions imposed on creation of the *District* prior to the submittal of a *PD Site Plan*." In addition, *Ordinance No. 17-22* [i.e. *the regulating ordinance for Planned Development District 32 (PD-32)*] states that the purpose of a *PD Development Plan* in Planned Development District 32 (PD-32) is to ensure that a proposed development meets the intent of the subdistrict and/or to address any waivers required by the development.

Currently, the City Council has approved *PD Development Plans* allocating all of the 1,161 *urban residential units* and all but seven (7) of the 49 *single-family residential units*. A summary of the unit allocations is as follows:

TABLE 1: URBAN RESIDENTIAL UNITS

<i>Project Name</i>	<i>Units</i>	<i>Unit Type</i>	<i>Case No.</i>	<i>Ordinance No.</i>
Summer Lee Condominiums (i.e. Harbor Hill) ¹	265	Condominiums	SP2015-004 ²	N/A
Harbor Urban Condominiums (i.e. the Florence)	228	Condominiums	Z2018-001	18-16 ⁴
Harbor Village Building 1 (i.e. Adjacent to Lakefront Trail)	375	Condominiums	Z2019-008	19-21 ⁵
Harbor Village Building 2 (i.e. Adjacent to Harbor Fountain) ³	75	Condominiums	Z2019-008	19-21 ⁵
Harbor Residences (i.e. WC of Summer Lee and Horizon Road)	176	Condominiums	Z2022-058	23-05 ⁶
Sunset Ridge Residences (i.e. Adjacent to Harbor Residences)	42	Condominiums	Z2022-002	22-11
<i>Total Allocated:</i>		<u>1,161</u>		
<i>Permitted in District:</i>		<u>1,161</u>		
<i>Units Remaining:</i>		<u>0</u>		

NOTES:

- ¹: This case was determined to be conforming to the *Concept Plan* originally approved with *Ordinance No. 10-21*, and was determined to not require a *PD Development Plan* at that time (i.e. the approval of the site plan allocated the units to this project).
- ²: Case No. SP2015-004 was amended by Case No. SP2018-037 & SP2020-018.
- ³: *Ordinance No. 19-21* contains conditions that allow the City Council to claw back 25 of the 75 allocated units pending a building permit has not been issued by June 1, 2020. This project currently has not been issued a building permit.
- ⁴: This ordinance superseded *Ordinance No. 16-54* (Case No. Z2016-025), which originally allocated the units for this project.
- ⁵: This ordinance superseded *Ordinance No. 13-16* (Case No. Z2013-011); however, the units for this project were originally allocated with *Ordinance No. 11-43* (i.e. Case No. Z2011-020).
- ⁶: This ordinance superseded *Ordinance No. 22-10* (Case No. Z2022-001) and *Ordinance No. 22-36* (Case No. Z2022-024).

TABLE 2: SINGLE-FAMILY RESIDENTIAL UNITS

<i>Project Name</i>	<i>Units</i>	<i>Unit Type</i>	<i>Case No.</i>	<i>Ordinance No.</i>
Harbor Urban Townhomes ¹	42	Townhomes	Z2018-001	18-16 ²
<i>Total Allocated:</i>		<u>42</u>		
<i>Permitted in District:</i>		<u>49</u>		
<i>Units Remaining:</i>		<u>7</u>		

NOTES:

- ¹: This *PD Development Plan* only affected the *Residential Subdistrict*, which was the only district that allowed the *single-family residential units*. The approval of *Ordinance No. 18-16* amended the district to allow the 42 townhomes in lieu of the 49 zero-lot-line or patio homes.
- ²: This ordinance superseded *Ordinance No. 16-48* (Case No. Z2016-026), which originally allocated the units for this project.

On October 19, 2020, the City Council approved a final plat [Case No. P2020-036] establishing the subject property as Lot 3, Block A, Harbor Hills Addition. On January 17, 2025, the applicant submitted a PD Development Plan request; however, due to the applicant’s failure to attend the Planning and Zoning Commission work session meeting, the applicant requested to withdraw the case. On February 11, 2025, the Planning and Zoning Commission approved the withdrawal request by a vote of 7-0. On February 14, 2025, the applicant submit a subsequent application, which was tabled on March 11, 2025, in order to allow the applicant more time to address concerns from the Planning and Zoning Commission.

PURPOSE

On February 14, 2025, the applicant -- Tyler Adams of Greenlight Studio -- submitted an application requesting the approval of a *PD Development Plan* to allow the development of seven (7) townhomes on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located northwest of the intersection of Ridge Road and Glen Hill Way. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant 4.076-acre parcel of land (i.e. Lot 4, Block A, Harbor Village Addition). Beyond this is a 2.12-acre parcel of land (i.e. Lot 5, Block 5, Harbor Village Addition) developed with a *Limited Service Hotel* (i.e. Tru Hilton). These properties are situated within the *Residential and Interior Subdistricts* of Planned Development District 32 (PD-32). Following this is Summer Lee Drive, which is identified as a *Minor Collector* on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a 0.8320-acre parcel of land (i.e. Lot 1, Block A, Lakeridge Est Addition) developed with a multi-tenant retail building (i.e. Feng Cha, Athletico, & Hollywood Feed) located within the Ridge Road Retail Subdistrict of Planned Development District 32 (PD-32). Beyond this is Glen Hill Way, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this are three (3) parcels of land (i.e. Lots 1-3, Block A, Willis-Sealock Addition) developed with retail buildings (i.e. Family Dentistry Rockwall & Ridge Road Animal Hospital) zoned General Retail (GR) District. South of this is a 1.46-acre parcel of land (i.e. Lot 1, Block A, AJ Squared Addition) developed with a multi-tenant Medical Office Building, zoned Planned Development District 18 (PD-18).

East: Directly east of the subject property are two (2) parcel of land (i.e. Lot 1, Block A, Murphy Plaza No. 2 Addition & Lot 1, Block A, Murphy Plaza) developed with multi-tenant Office Buildings, zoned General Retail (GR) District. Beyond this is Ridge Road [SH-740], which is identified as a A4D (i.e. arterial, four [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 2.0034-acre parcel of land (i.e. Lot 1, Block A, RDI Retail Addition) developed with a General Retail Building (i.e. Walgreens) zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses.

West: Directly west of the subject property is Glen Hill Way, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 2.1690-acre parcel of land (i.e. Lot 2, Block A, Harbor Hills Addition) situated within the Interior Subdistrict of Planned Development District 32 (PD-32). Following this is a 1.25-acre tract of land (i.e. Tract 137 of the E. Teal Survey, Abstract No. 207) that serves as the Glen Hills Cemetery. West of this is the Lago Vista Subdivision, which contains 92 single-family homes and is zoned Planned Development District 18 (PD-18) for Single-Family 10 (SF-10) District land uses.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan showing the establishment of seven (7) townhomes northwest of the intersection of Glen Hill Way and Ridge Road [SH-740] across the street from the Glen Hills Cemetery. Based on the proposed concept plan, the townhomes are split into two (2) buildings, with four (4) townhomes facing directly onto Glen Hill Way and the remaining three (3) townhomes facing onto an internal mew street. In addition, there will be three (3) guest parking spaces, two (2) park benches, and two (2) dog waste stations. The townhomes incorporate elements of the Tuscan architectural style and utilize earth tones. The internal mew street will be constructed of concrete, have no sidewalks, and have pedestrian lighting.

CONFORMANCE WITH PLANNED DEVELOPMENT DISTRICT 32 (PD-32)

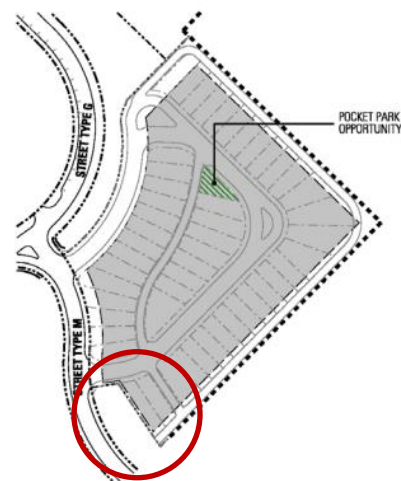
According to the *Subdistrict Plan* contained in Planned Development District 32 (PD-32) [Ordinance No. 17-22] the subject property is situated within the *Residential Subdistrict*, which -- according to Ordinance No. 17-22 -- is intended "...for zero lot line single-family residential housing." In this case, the applicant is proposing to change the zero lot homes into townhomes. This inherently changes the intent of the district, where the proposed townhomes do not meet the requirements stipulated for the *Residential Subdistrict*. Based on this, staff has requested that the applicant submit a *PD Development Plan* for the project. According to Ordinance No. 17-22, "(a) [PD] development plan shall be required if a proposed development within any *Subdistrict* that does not meet the intent of the *PD Concept Plan* or the *Subdistrict Plan*, or requires waivers not provided for in Section 9.3 [Waivers of Design Standards] of this ordinance." The following is a summary of the form-based code requirements for the *Residential Subdistrict*, and how the proposed project conforms to these requirements:

TABLE 1: BUILDING PLACEMENT AND PARKING COMPLIANCE THE RESIDENTIAL SUBDISTRICT

ORDINANCE PROVISIONS	RESIDENTIAL SUBDISTRICT	CONFORMANCE TO THE STANDARDS
BUILD TO LINE:	10-Feet	~10-Feet; <i>IN CONFORMANCE</i>
BUILDING FORM:	Side Yard Setback 8-Feet and 0-Feet.	No Side Setbacks Between Townhomes; <i>NOT IN CONFORMANCE</i>
	65% of the Façade must be at the Build to Line.	The Units Front Curved Streets and Do Not Meet This Requirement; <i>NOT IN CONFORMANCE</i>
	Minimum Lot Size is 30' x 90'	The are 35' Wide, but are as Short as 50-Feet; <i>NOT IN CONFORMANCE</i>
MAXIMUM LOT COVERAGE	61%	<61%; <i>IN CONFORMANCE</i>
LAND USE:		
	GROUND FLOOR Residential	Residential; <i>IN CONFORMANCE</i>
	UPPER FLOORS Residential	Residential; <i>IN CONFORMANCE</i>
BUILDING HEIGHT:		
MAXIMUM BUILDING HEIGHT	3-Stories and 36-Feet	3-Stories and 33-Feet; <i>IN CONFORMANCE</i>
ENCROACHMENTS	5-Feet	No Encroachments; <i>IN CONFORMANCE</i>
GARAGE LOCATION	Garages Must be Rear Loaded	Three (3) Units are Front Loaded; <i>NOT IN CONFORMANCE</i>

Staff has also provided the concept plan for the *Residential Subdistrict* in Figure 1. Staff reviewed the proposed building elevations, perspectives, and renderings for conformance to the *Design Guidelines* contained in Resolution 10-40 and found that the proposed elevations generally conform to the *Tuscan* architectural style. That being said, based on the proposed concept plan a mew street will run between the two (2) townhome buildings. The *Design Guidelines* detail that mew streets should include "...enhanced pedestrian paving, enhanced landscape planting, special accent lighting, and may also include enhanced vehicular pavement." In this case, there are no proposed sidewalks and there will be decorative lighting. The landscape plan also delineates plantings along the mew both in open space and townhome lots. Staff should note, per the Chapter 2, *Streets*, of the Engineering Standards of Design and Construction, pavers or stamped concrete may not be utilized in utility easements.

FIGURE 1: RESIDENTIAL SUBDISTRICT CONCEPT PLAN
RED CIRCLE = APPROXIMATE LOCATION OF SUBJECT PROPERTY



In addition to the *Residential Subdistrict* requirements of Planned Development District 32 (PD-32) and the *Design Guidelines*, the applicant's request fails to meet the anti-monotony requirements of the Unified Development Code (UDC). According to Subsection 03.01(D), *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he front building elevations of a home shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street ... (i)dentical building material blends and colors may not occur on adjacent (*side-by-side*) properties." This section continues with "(h)omes are considered to differ in appearance if any three (3) elements are different: (a) The number of stories of the home ... (b) The garage location/orientation on the home ... (c) The roof type and layout of the home ... [and] (d) The articulation of the front façade of the home." In this case, the proposed townhomes have the same number of stories, incorporate the same garage location/orientation, and utilize the same color and material blends. Given this, the proposed building elevations do not meet the anti-monotony standards.

Finally, the applicant is requesting to entitle the subject property with seven (7) townhome units. As shown in *Table 2 (above)*, there are seven (7) remaining single-family residential units (*i.e. zero-lot-line or patio homes*) within Planned Development District 32 (PD-32). The concept plan for PD-32 – *established with Ordinance No. 10-21* – allocated a pool of 1,161 *urban residential units (i.e. condominiums and/or townhomes)* and 49 *single-family residential units (i.e. zero-lot-line or patio homes)*. On September 19, 2016, the City Council approved a PD Development Plan [Case No. Z2016-026; Ordinance No. 16-48] that converted 36 of the *single-family residential units* to townhome units. Following this approval, the PD Development Plan was amended [Case No. Z2018-001; Ordinance No. 18-16] to include an additional six (6) townhome units, for a total of 42 townhomes. The remaining seven (7) single-family residential units have yet to be allocated to a project, and previous requests to increase the number of units in the Planned Development District 32 (PD-32) have not been approved. In this case, the applicant is requesting to convert the remaining single-family residential units (*i.e. zero-lot-line or patio homes*) into townhomes.

With all this being said, a *PD Development Plan* is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

INFRASTRUCTURE

Based on the applicant's concept plan and the proposed density, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) Roadways. Until the completion of an infrastructure study the level of roadway improvements cannot be determined. The proposed new street cannot utilize stamped concrete or pavers if the street will act as a utility easement as well. A *Streetscape Plan* showing how the sidewalks and pedestrian areas will be designed will be required to be submitted with the site plan. In addition, the applicant will be required to update the Traffic Impact Analysis (TIA) for the *Harbor District* per the City Council's direction from the November 5, 2018 City Council meeting.
- (2) Wastewater and Water. An infrastructure study will be required to determine the necessary improvements needed to sufficiently serve the subject property. Staff recommends that this infrastructure study be initiated prior to the submission of a site plan.
- (3) Drainage. The applicant shall be required to pay a stormwater pro-rata fee of \$7,226.59 per acre.

NOTIFICATIONS

On February 21, 2025, staff mailed 47 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lago Vista Homeowner's Association (HOA), which was the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has not received any notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a *PD Development Plan* for seven (7) townhomes, staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the PD Development Plan ordinance and which are detailed as follows:
 - (a) The development of the subject property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of the PD Development Plan ordinance; and,
 - (b) The development of the subject property shall generally conform to the proposed *Conceptual Building Elevations* depicted in *Exhibit 'C'* of this ordinance and to the design guidelines contained in *Resolution No. 10-40*; and,
 - (c) The proposed townhome development shall not contain more than seven (7) townhomes; and,
 - (d) All building materials and color schemes proposed for this development should conform to the requirements stipulated by Planned Development District 32 (PD-32) [*as amended*]; and,
 - (e) Prior to the issuance of a building permit the applicant shall submit and seek approval for a detailed PD Site Plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and with the requirements approved in the PD Development Plan ordinance.
- (2) Any construction resulting from the approval of this Planned Development District shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Glen Hill Way**

SUBDIVISION **Harbor Hills Addition**

LOT **3** BLOCK **A**

GENERAL LOCATION **Parcel on Glen Hill Way north adjacent of 2930 South Ridge Road**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-32 Residential Subdistrict**

CURRENT USE **Vacant**

PROPOSED ZONING **Unchanged**

PROPOSED USE **Single Family Attached**

ACREAGE **.87**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **13**

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **ZAPA Investmants LLC**

APPLICANT **Greenlight Studio**

CONTACT PERSON **Matt Zahm**

CONTACT PERSON **Tyler Adams**

ADDRESS **201 W Kaufman St.**

ADDRESS **100 N. Cottonwood Drive**

Suite 104

CITY, STATE & ZIP **Richardson, Texas 75081**

CITY, STATE & ZIP **Richardson, Texas 75080**

PHONE **972.682.1435**

PHONE **214.810.4535**

E-MAIL **MZahm@zconstructors.com**

E-MAIL **tyler@gldevco.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Matt D. Zahm [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 270.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF December 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

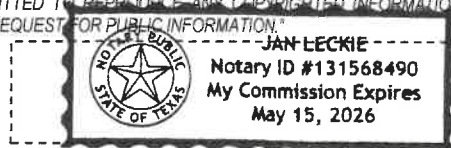
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF December 2024.

OWNER'S SIGNATURE

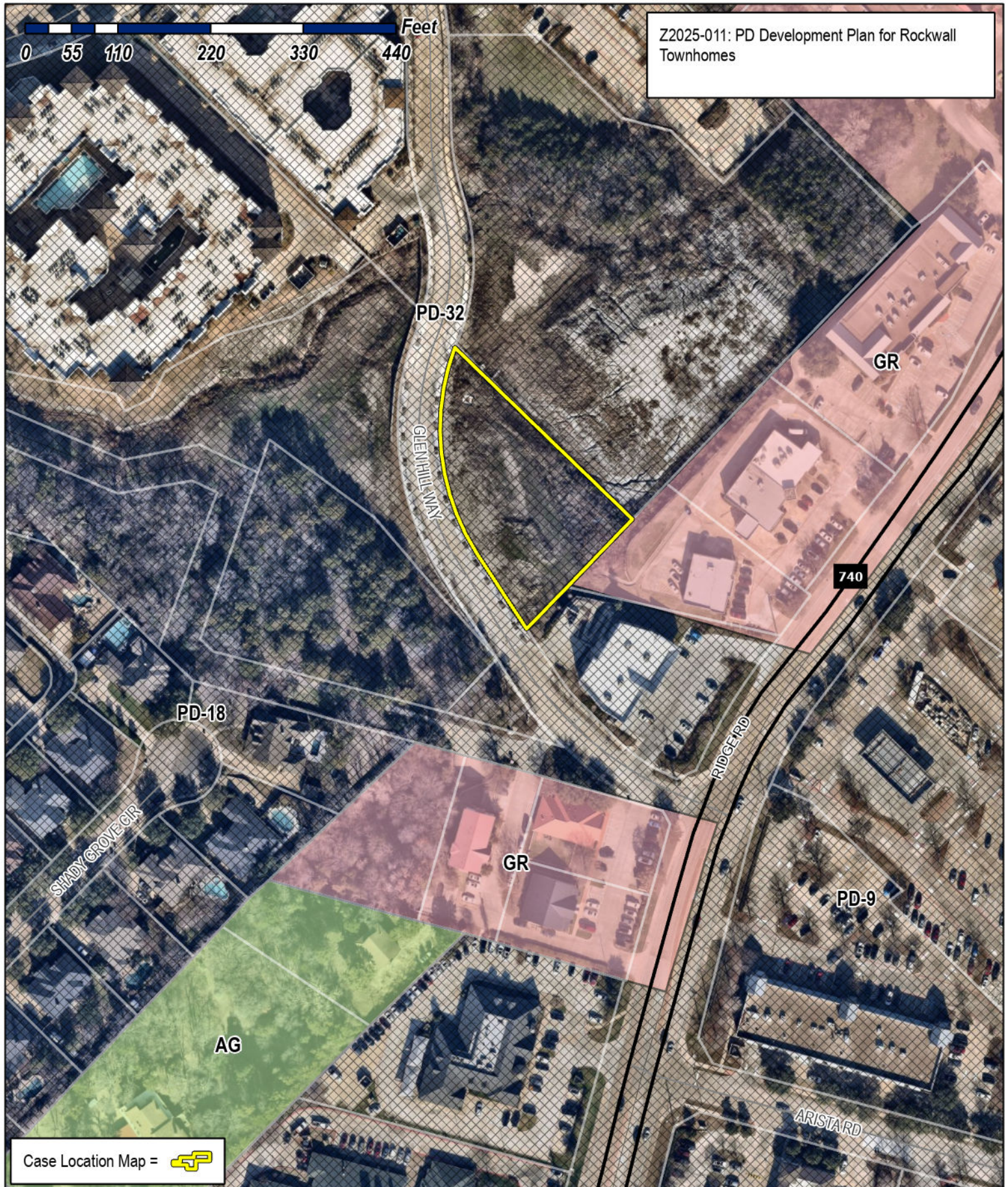
Matt D. Zahm

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS


Jan Leckie



MY COMMISSION EXPIRES 05/15/2026



Z2025-011: PD Development Plan for Rockwall Townhomes

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

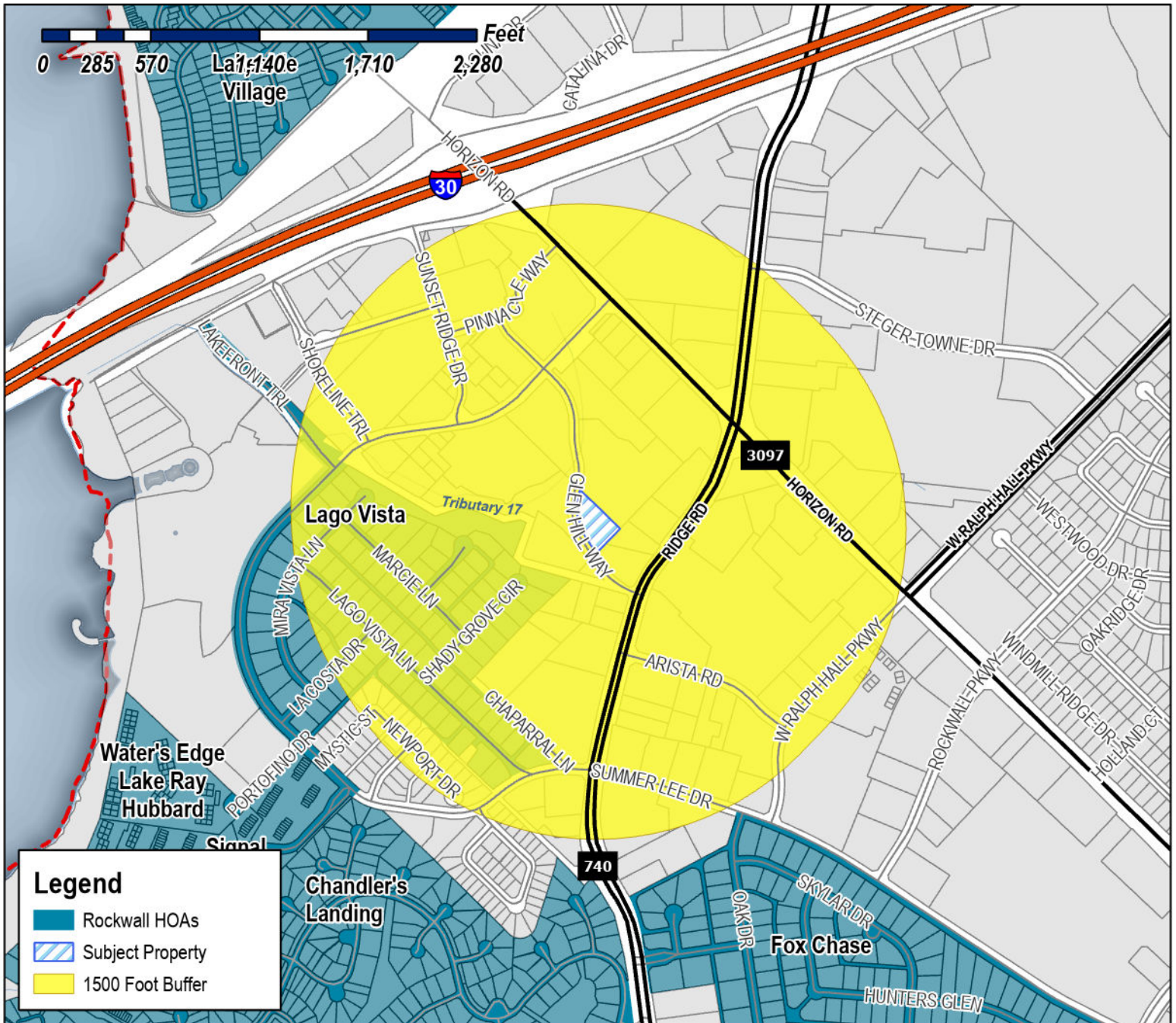




City of Rockwall

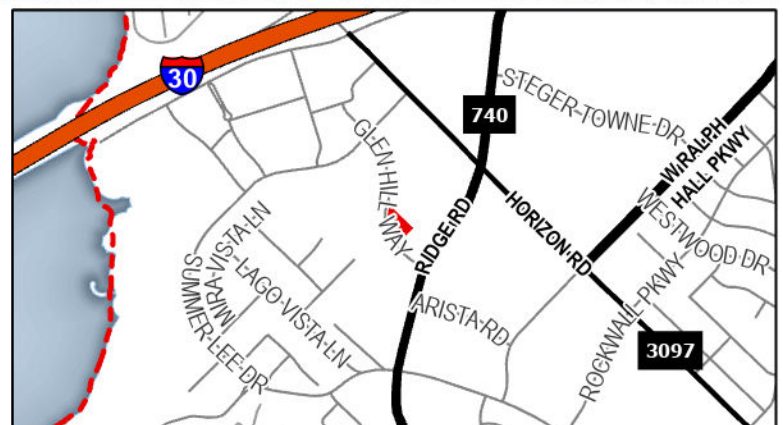
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Case Number: Z2025-011
Case Name: PD Development Plan for Rockwall Townhomes
Case Type: Zoning
Zoning: Planned Development District 32 (PD-32)
Case Address: Glen Hill Way

Date Saved: 2/20/2025
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program {Z2025-011}
Date: Thursday, February 20, 2025 3:31:43 PM
Attachments: [Public Notice \(02.18.2025\).pdf](#)
[HOA Map \(02.20.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, February 21, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, March 11, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, March 17, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2025-011: PD Development Plan for (8) Eight Townhomes

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a [PD Development Plan](#) for eight (8) Townhomes on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict and the Residential Subdistrict, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

Thank you,

Melanie Zavala

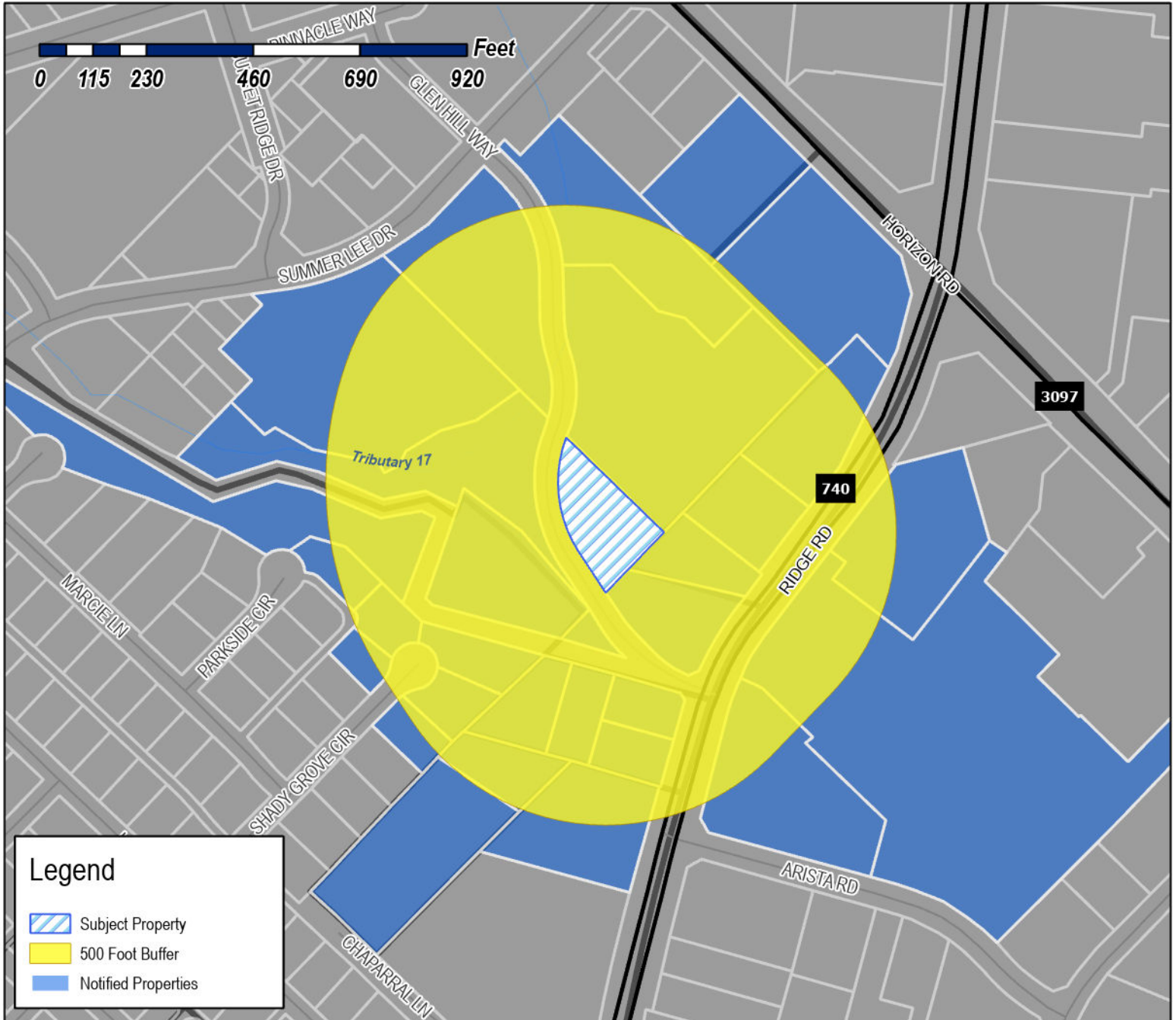
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

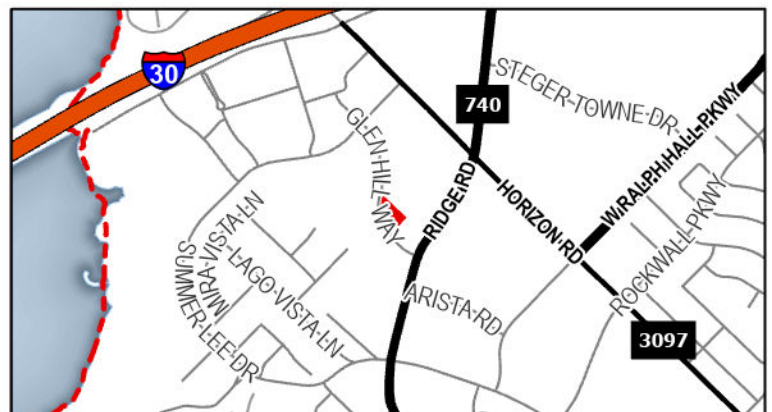
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2025-011
Case Name: PD Development Plan for Rockwall Townhomes
Case Type: Zoning
Zoning: Planned Development District 32 (PD-32)
Case Address: Glen Hill Way

Date Saved: 1/21/2025
 For Questions on this Case Call: (972) 771-7745



KROGER TEXAS LP
1014 VINE STREET
CINCINNATI, OH 45202

HPA BORROWER 2016-1 LLC
120 S RIVERSIDE PLZ SUITE 2000
CHICAGO, IL 60606

SONG CORPORATION
1200 HORIZON RD
ROCKWALL, TX 75032

RESIDENT
1220 HORIZON RD
ROCKWALL, TX 75032

JAY & MALISHA LLC
1260 HERON LAKES CIR
MOBILE, AL 36693

NATIONAL TRANSFER SERVICES, LLC
1360 POST OAK BLVD STE 100 # 16-2
HOUSTON, TX 77056

RESIDENT
1489 SHADY GROVE CIR
ROCKWALL, TX 75032

THOMPSON CHARLES C & SHARON K
1496 SHADY GROVE CIR
ROCKWALL, TX 75032

DRAKE CARLA DEE & DENNIS HARTLINE
1501 SHADY GROVE CIR
ROCKWALL, TX 75032

HUBERT ROBIN AND MONICA A
1508 SHADY GROVE CIR
ROCKWALL, TX 75032

RESIDENT
1513 SHADY GROVE CIR
ROCKWALL, TX 75032

HASSANIZADEH MAHMOUD & VASHTI
1523 PARKSIDE CIR
ROCKWALL, TX 75032

ROCKWALL HARBOR HILL, LTD
15653 HIGHWAY 243
KAUFMAN, TX 75142

CROCHERON AVENUE LLC
18 BEVERLY ROAD
DOUGLASTON, NY 11363

WHITNEY SARDIS LLC
2001 MARCUS AVENUE SUITE N118
LAKE SUCCESS, NY 11042

RESIDENT
2400 SUMMER LEE DR
ROCKWALL, TX 75032

RESIDENT
2500 SUMMER LEE DR
ROCKWALL, TX 75032

RESIDENT
2500 SUMMER LEE DR
ROCKWALL, TX 75032

SELMA HOSPITALITY INC
2560 ROYAL LN STE 210
DALLAS, TX 75229

SELMA HOSPITALITY INC
2560 ROYAL LN STE 210
DALLAS, TX 75229

RESIDENT
2700 SUMMER LEE
ROCKWALL, TX 75032

HARBOR LAKE POINTE INVESTORS LLC
2701 SUNSET RIDGE DR SUITE 607
ROCKWALL, TX 75032

HARBOR LAKE POINTE INVESTORS LLC
2701 SUNSET RIDGE DR SUITE 607
ROCKWALL, TX 75032

RESIDENT
2890 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2910 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2911 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2918 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2930 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2935 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2951 RIDGE RD
ROCKWALL, TX 75032

SEALOCK MICHAEL C & SONIA KAY
3010 RIDGE RD
ROCKWALL, TX 75032

JBE RIDGE LLC
3012 RIDGE RD STE 204
ROCKWALL, TX 75032

JBE RIDGE LLC
3012 RIDGE RD STE 204
ROCKWALL, TX 75032

RESIDENT
3014 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
3016 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
3018 RIDGE RD
ROCKWALL, TX 75032

HAYWOOD CHARLES E AND LISA K
36 IONA DRIVE RD3 TAURANGA
NEW ZEALAND 3173,

KRUGER KARIN
400 CHAPARRAL LN
ROCKWALL, TX 75032

C. REAL ESTATE, LLC
5 TERRABELLA LANE
HEATH, TX 75032

AJ SQUARED LLC
5 TERRABELLA LN
HEATH, TX 75032

ATTICUS SUMMER LEE TOWNHOMES LLC
5339 ALPHA ROAD SUITE 300
DALLAS, TX 75240

KROGER TEXAS LP
751 FREEPORT PKWY
COPPELL, TX 75019

HP ROCKWALL 740 LTD
C/O GARY P HAMMER
7557 RAMBLER ROAD, SUITE 980
DALLAS, TX 75231

TX FLORENCE APARTMENTS LLC
9757 NE JUANITA DRIVE SUITE 300
KIRKLAND, WA 98034

GLEN HILLS CEMETERY
C/O INEZ GIBSON 512 COOL MEADOW COURT
DESOTO, TX 75115

2930 S RIDGE ROAD ROCKWALL, LLC
PO BOX 741209
HOUSTON, TX 77274

2930 S RIDGE ROAD ROCKWALL, LLC
PO BOX 741209
HOUSTON, TX 77274

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-011: PD Development Plan for (8) Eight Townhomes

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a PD Development Plan for eight (8) *Townhomes* on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict* and the *Residential Subdistrict*, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-011: PD Development Plan for (8) Eight Townhomes

Please place a check mark on the appropriate line below:

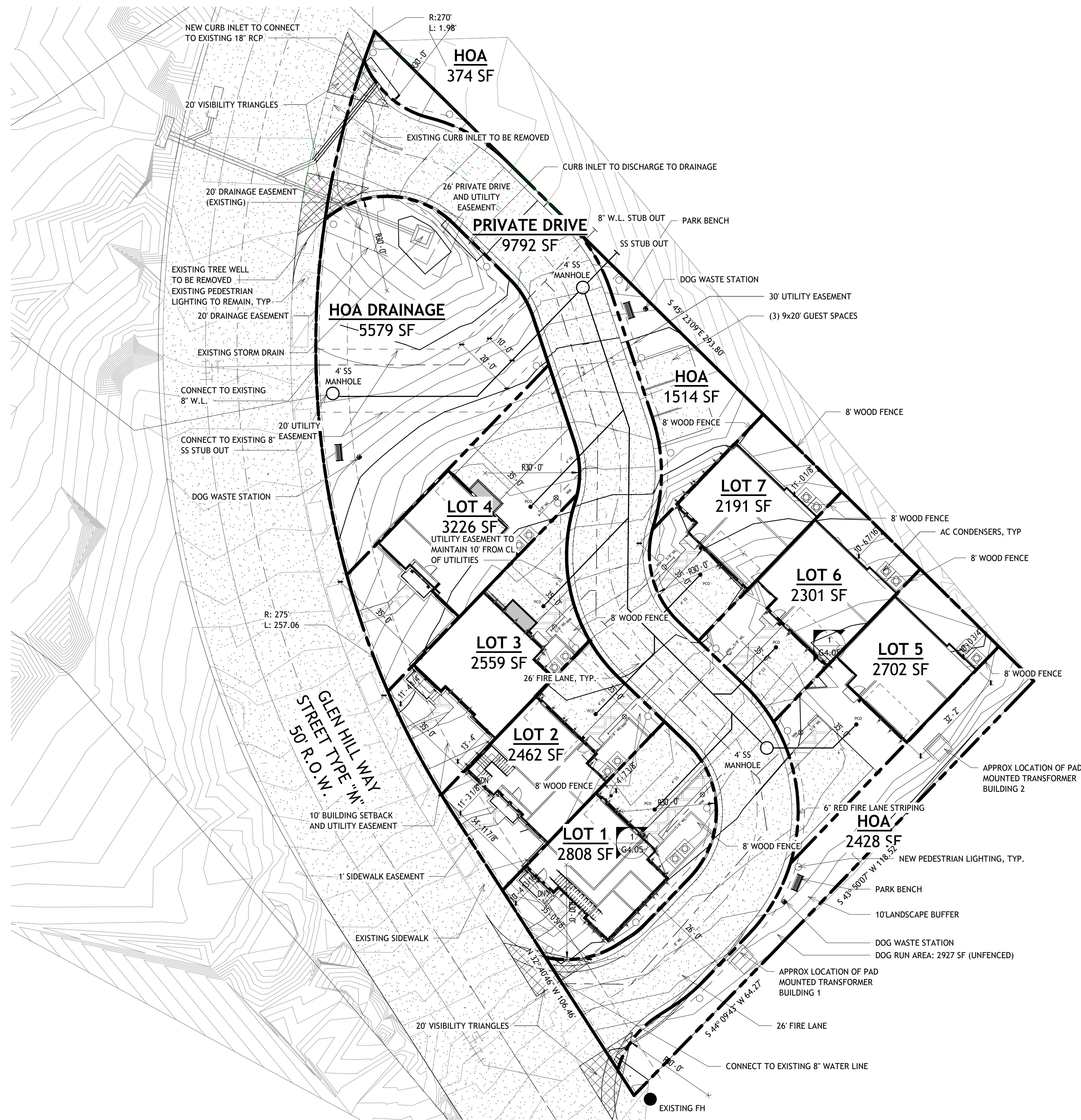
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

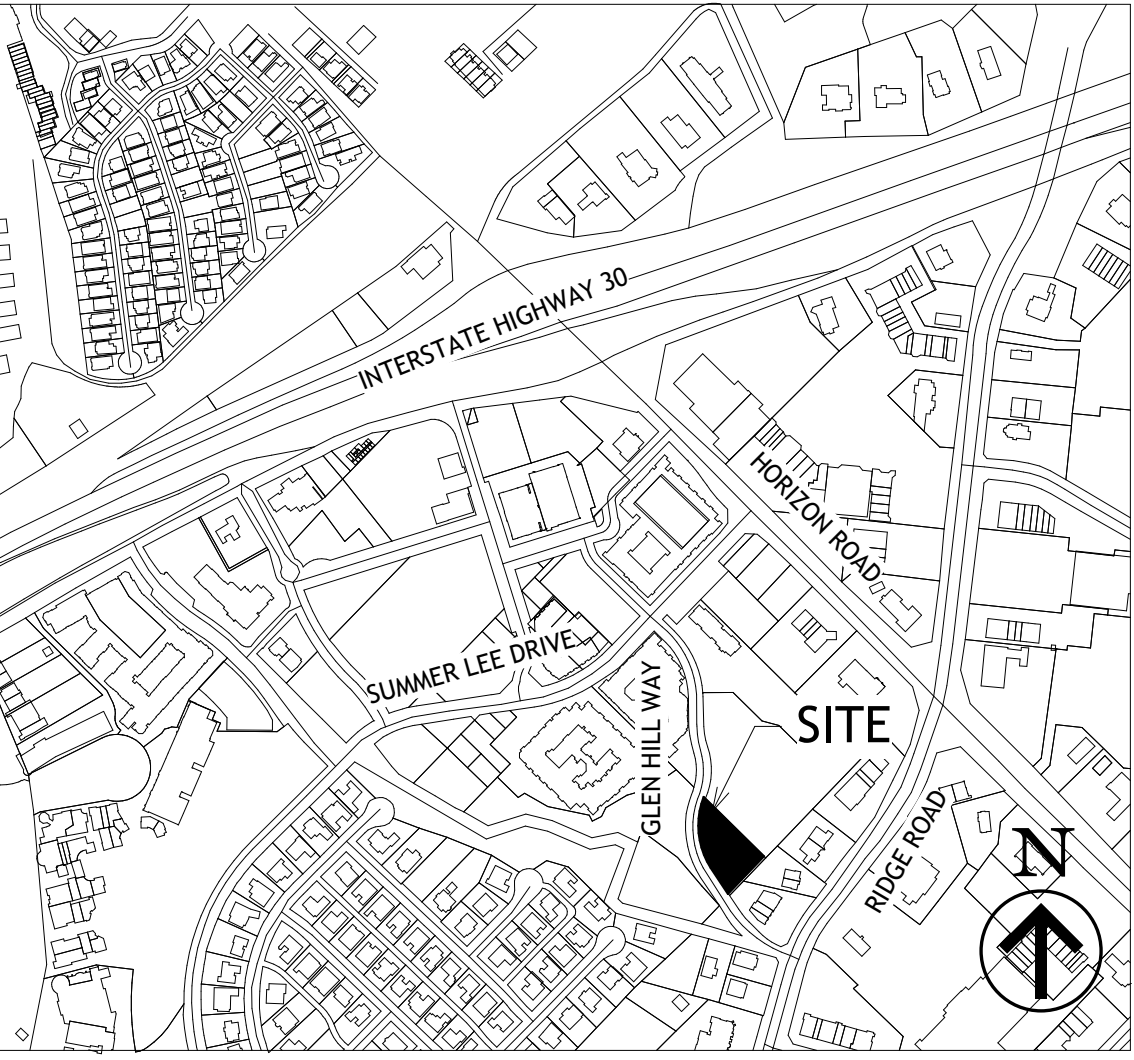
Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



VICINITY MAP



Property Schedule	
Name	Area
HOA	2428 SF
HOA	1514 SF
HOA	374 SF
HOA DRAINAGE	5579 SF
LOT 1	2808 SF
LOT 2	2462 SF
LOT 3	2559 SF
LOT 4	3226 SF
LOT 5	2702 SF
LOT 6	2301 SF
LOT 7	2191 SF
PRIVATE DRIVE	9792 SF
Total	37936 SF

- SITE PLAN GENERAL NOTES**
- ALL WORK MUST MEET CITY 2023 STANDARDS OF DESIGN AND CONSTRUCTION.
 - RETAINING WALLS OVER 3' MUST BE ENGINEERED.
 - ALL RETAINING WALLS OVER 18" MUST BE ROCK OR STONE FACED.
 - ALL UTILITIES MUST BE UNDERGROUND.
 - ALL PROPOSED UTILITIES SHOWN ARE CONCEPTUAL IN NATURE.

- DRAINAGE NOTES**
- GLEN HILL WAY AS-BUILT FLOWS SHALL BE MAINTAINED.
 - PROPERTY OWNER RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF DETENTION/DRAINAGE SYSTEMS.

- WATER AND WASTEWATER NOTES**
- ANY UTILITY CONNECTION MADE UNDERNEATH AN EXISTING ROADWAY MUST BE BORED.
 - ALL UTILITY CROSSINGS MUST BE DRY BORE AND STEEL ENCASED.
 - NO TREES SHALL BE WITHIN 10' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS 10" IN DIAMETER OR LARGER.
 - NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS LESS THAN 10".
 - NO LANDSCAPE BERMS OR TREE PLANTINGS SHALL BE LOCATED ON TOP OF CITY UTILITIES OR WITHIN EASEMENTS.

- LIFE SAFETY GENERAL NOTES**
- EACH UNIT TO BE SEPARATED BY A CONTINUOUS ONE HOUR FIRE BARRIER.
 - BUILDINGS SHALL BE EQUIPPED WITH AN NFPA13D FIRE SPRINKLER SYSTEMS.

Site Data Summary Table

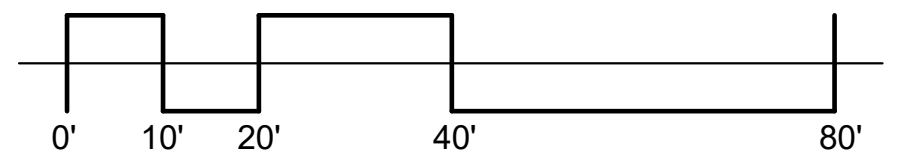
General Site Data	
Zoning	PD-32 Residential Subdistrict
Existing Use	Vacant
Proposed Land Use	Single Family Attached (Townhomes)
Lot Area Combined (SF)	37,935
Lot Area Combined (Acres)	0.87
Building Footprint Area (Approximate)	9,363
Area Covered by Canopy	0
Single Family Attached Units	8
Unit Density Per Acre	9.2
Building 1 Area	16,506
Building 2 Area	10,521
Total Building Area	27,027
Maximum Building Height (# Stories)	3
Maximum Building Height (Feet)	50' to Roof Ridge
Lot Coverage	25%
Floor Area Ratio	5/7

Parking	
Required Parking 2 Per unit	16
Parking Provided	
Uncovered Surface Spaces (Guest)	3
Garage Spaces	16
Tandem (Driveway) Spaces	16
Total Parking Provided	35
Accessible Parking Required	N/A
Accessible Parking Provided	0

Landscaping Area	
Open Space Required	
Required area per zoning	N/A

Total Open Space Provided	4,822
Other Landscape area within the lot	10,672
Total Landscape Area	15,494
Impervious Area	
Building Area	9,363
Sidewalks, Pavement, and other Impervious Flatwork	9,896
Other Impervious Area (Decorative Stamped Concrete)	3,182
Total Impervious Area	22,441

Total Landscape Area, Impervious Area, Permeable Area	37,935
Total Area for Outdoor Storage	None



1 Site Plan Copy 1
1" = 20'-0"

GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:

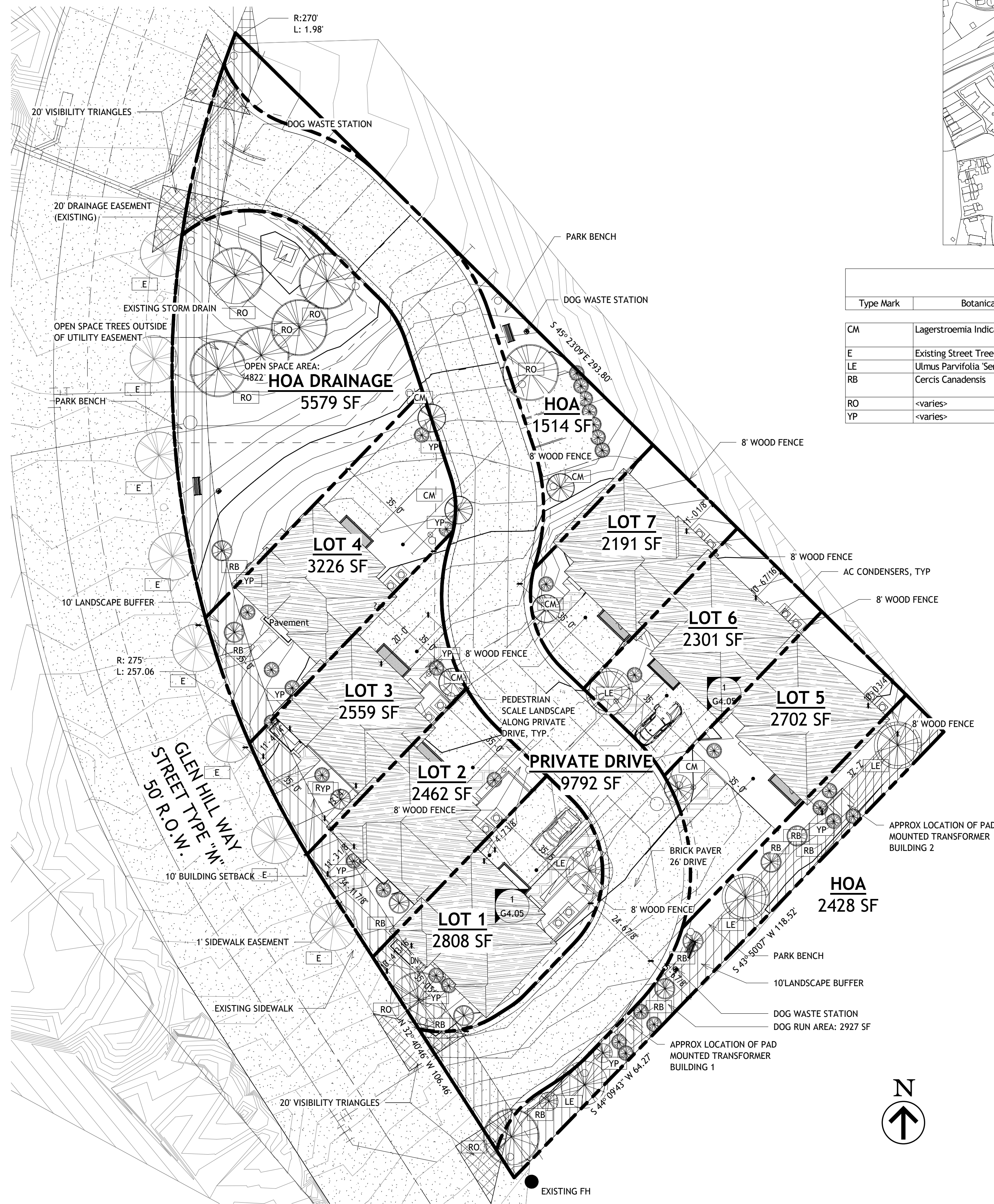
Zappa Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.682.1435

PD Amendment Plan

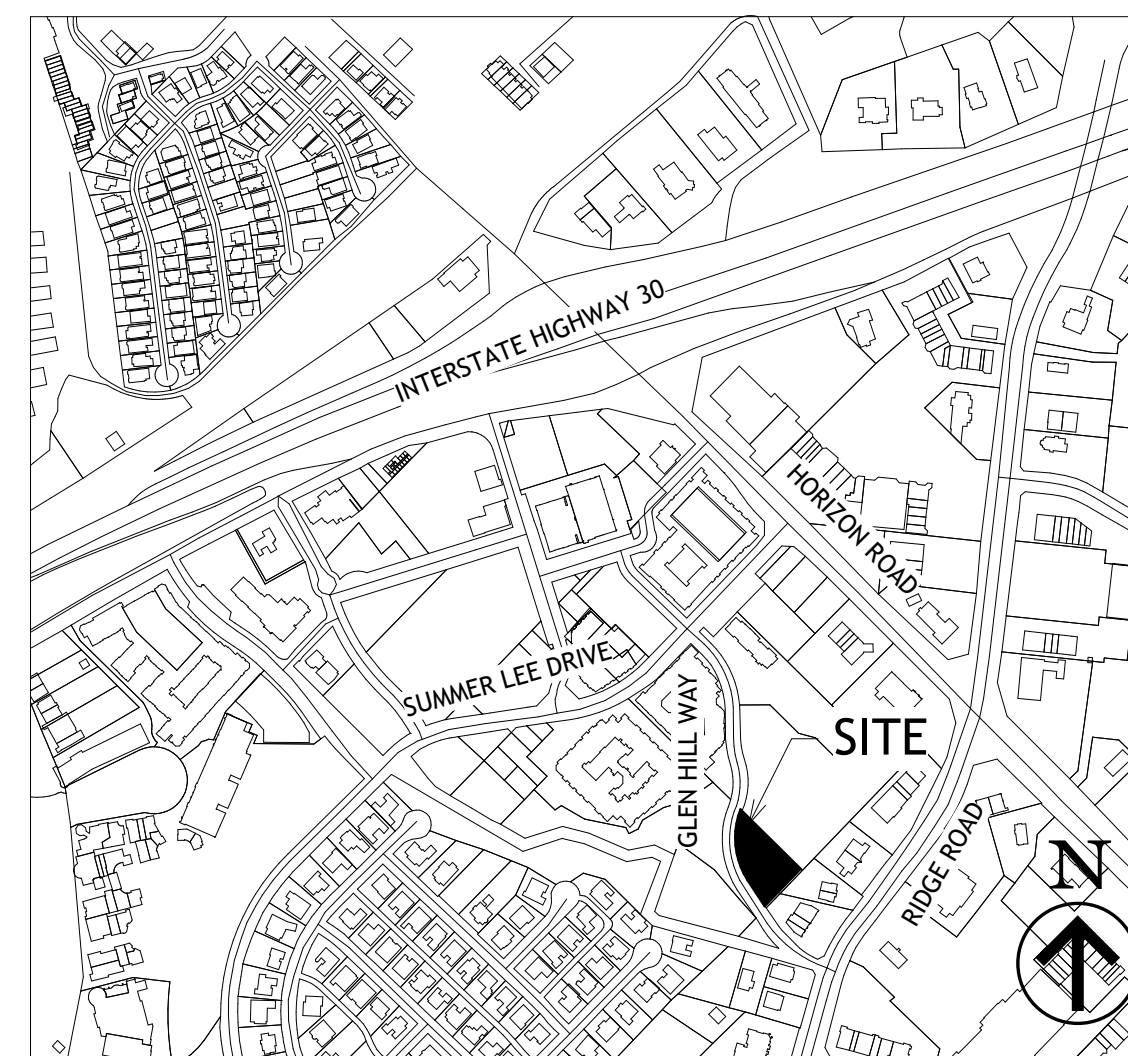
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared April 1, 2025



VICINITY MAP



Planting Schedule					
Type Mark	Botanical Name	Common Name	Size	Count	Comments
CM	Lagerstroemia Indica 'Basham Pink'	Crape Myrtle	30 Gal	6	Container Grown
E	Existing Street Tree	Existing	Existing	8	Existing
LE	Ulmus Parvifolia 'Sempervirens'	Lacebark Elm	4' Cal.	5	Nursery Grown
RB	Cercis Canadensis	Texas Red Bud	30 Gal	11	Container Grown
RO	<varies>	<varies>	<varies>	8	<varies>
YP	<varies>	<varies>	<varies>	33	<varies>

LANDSCAPE PLAN NOTES

- APPROVAL OF IRRIGATION PLAN IS REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. AN IRRIGATION PLAN MUST BE PREPARED AND SEALED BY A LICENSED IRRIGATOR IN THE STATE OF TEXAS AND WILL MEET THE REQUIREMENTS OF UDC. ALL LANDSCAPED AND TURF AREAS MUST BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, UNLESS ALTERNATIVE WATER WISE IRRIGATION SYSTEM IS APPROVED BY THE CITY. ALL LANDSCAPE BEDS SHALL BE SEPARATED FROM TURF AREAS BY EDGING.
- THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDING AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A "STAND OF GRASS" SHALL CONSIST OF 75% TO 80% COVERAGE AND A MINIMUM OF ONE-INCH IN HEIGHT AS DETERMINED BY THE CITY.
- ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT OF WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS (I.E. SOD - HYDRO MULCH SHALL BE PROHIBITED IN THESE AREAS) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER, AND STORM LINES.

Site Data Summary Table

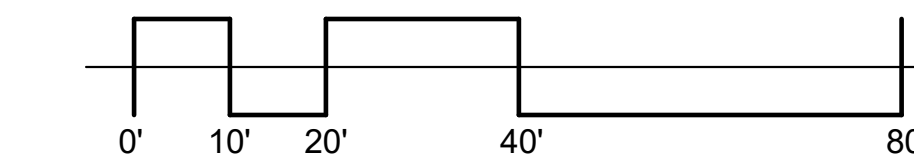
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Total Impervious Area	22,441
Total Landscape Area, Impervious Area, Permeable Area	37,935
Total Area for Outdoor Storage	None



1 Conceptual Landscape Plan
1" = 20'-0"

GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
vt: 214.810.4335

Owner:

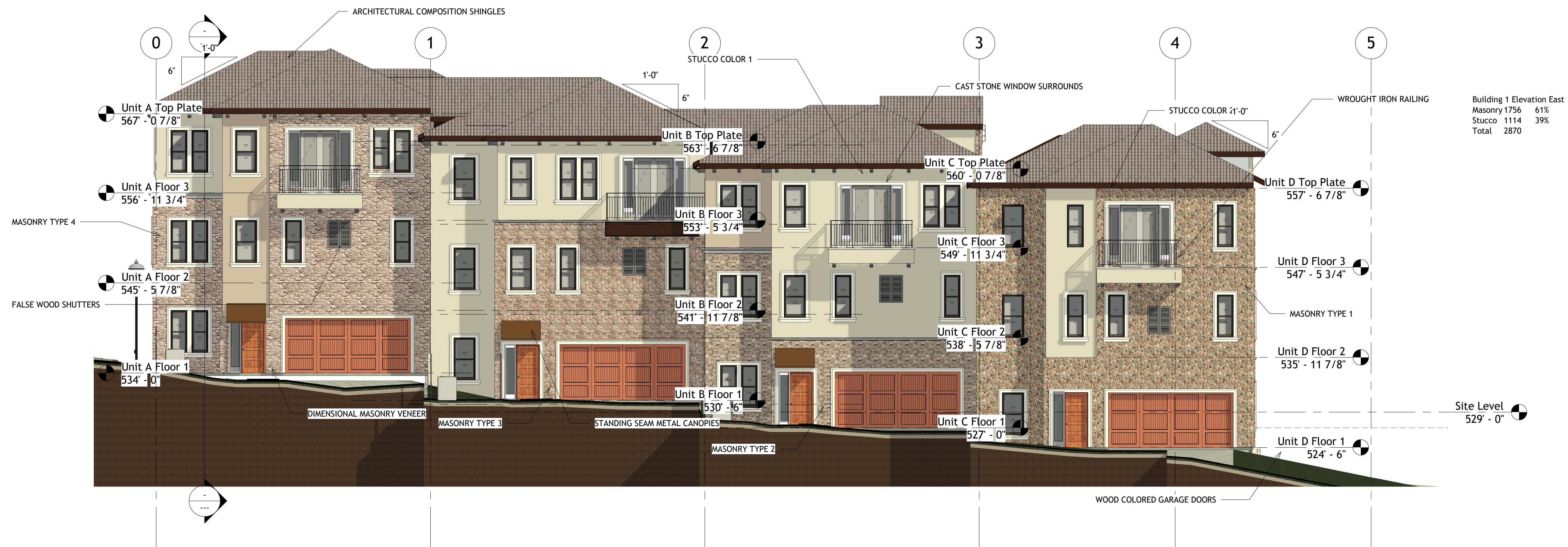
Zappa Investments, LLC
201 W Kaufman St
Richardson, Texas 75081
vt: 972.662.1435

Concept Landscape Plan

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared April 1, 2025



Building 1 Elevation East

Masonry	1756	61%
Stucco	1114	39%
Total	2870	

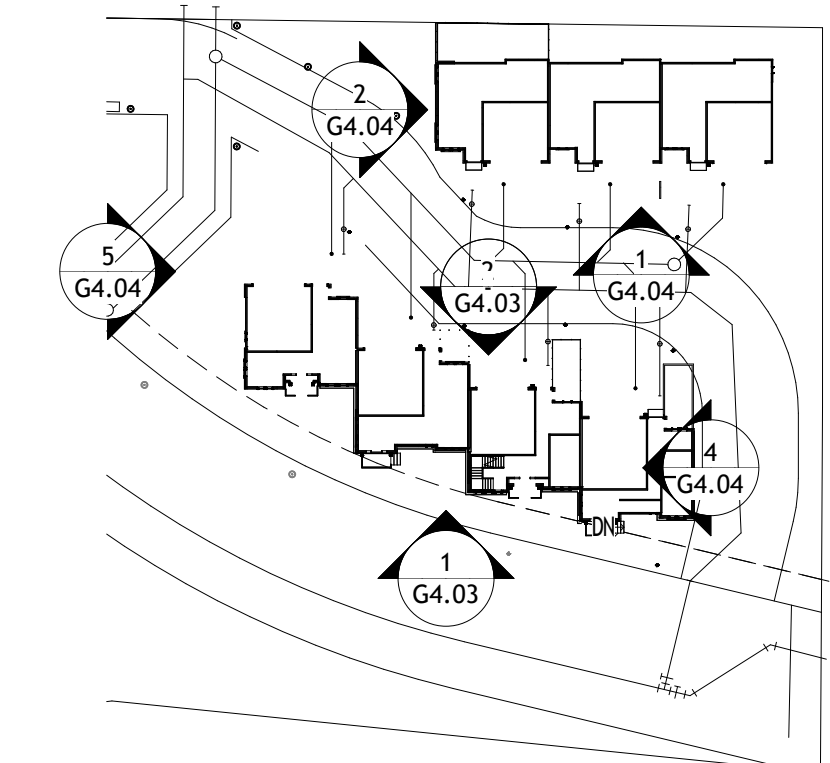
2 Building 1 Facade - East
1/8" = 1'-0"



Building 1 Elevation West

Masonry	1982	60%
Stucco	1333	40%
Total	3315	

1 Building 1 Facade - West
1/8" = 1'-0"



GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:
Zopa Investments, LLC
201 W Kaufman St
Richardson, Texas 75081
v: 972.862.1435

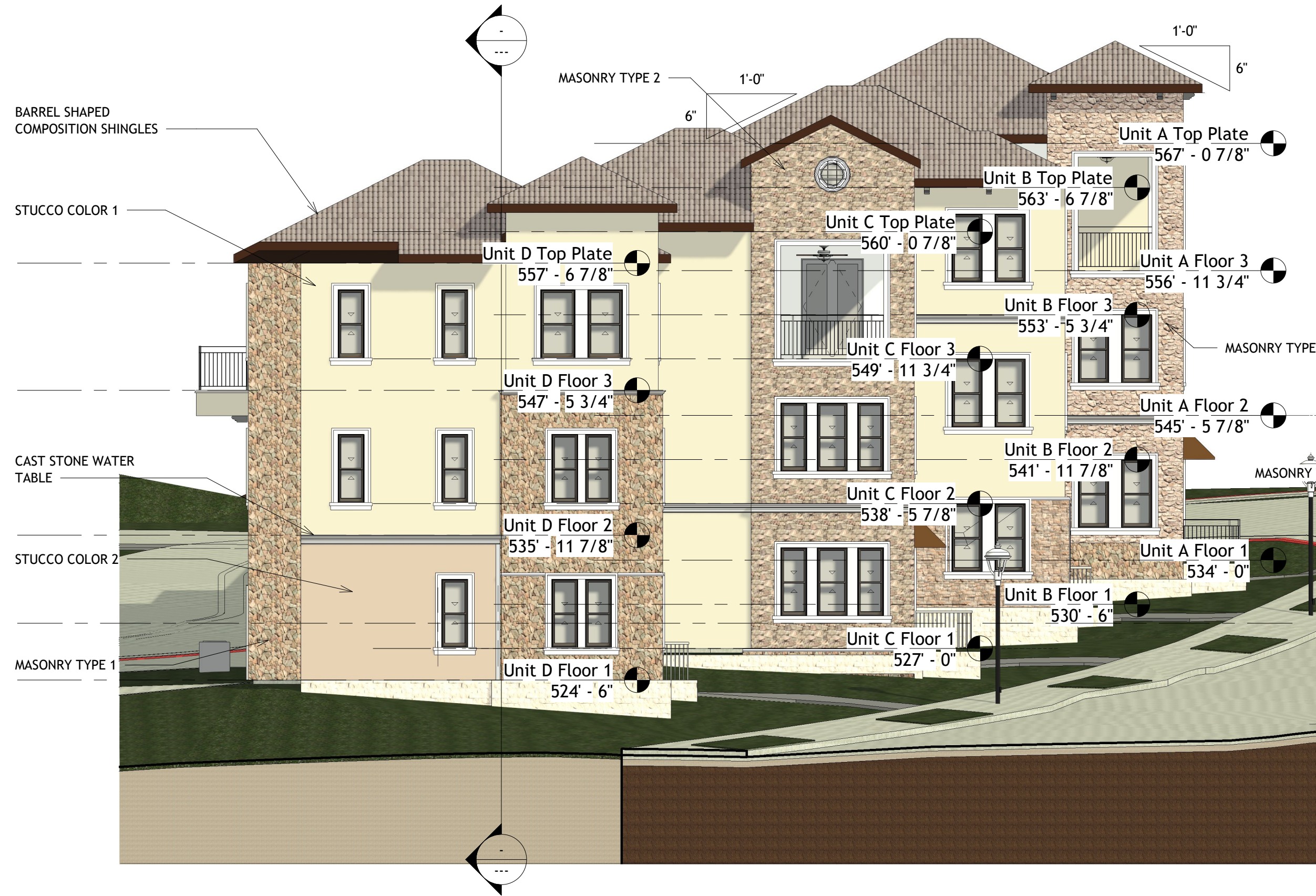
Color Elevations

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

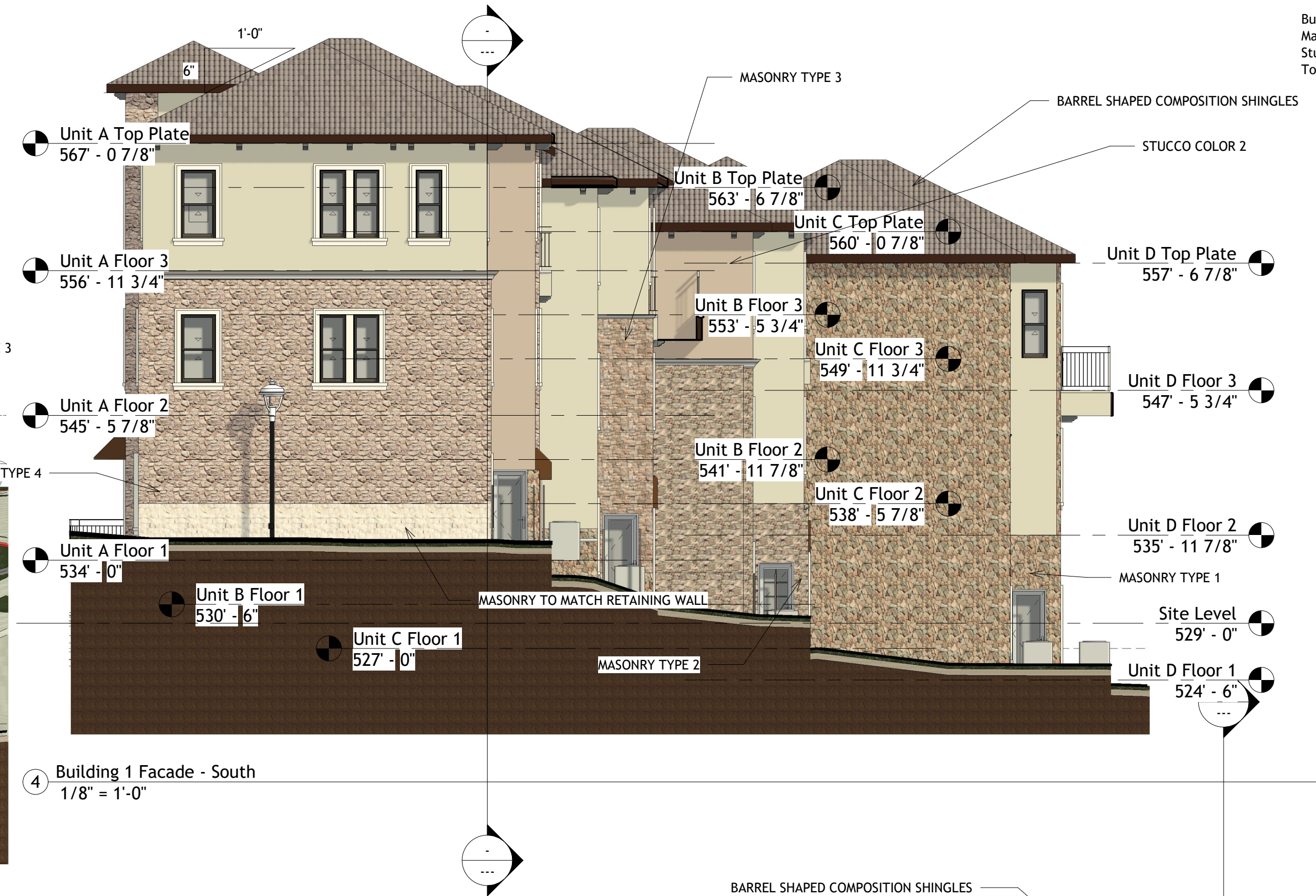
Prepared April 1, 2025

Building 1 Elevation North
 Masonry 1779 64%
 Stucco 1019 36%
 Total 2798



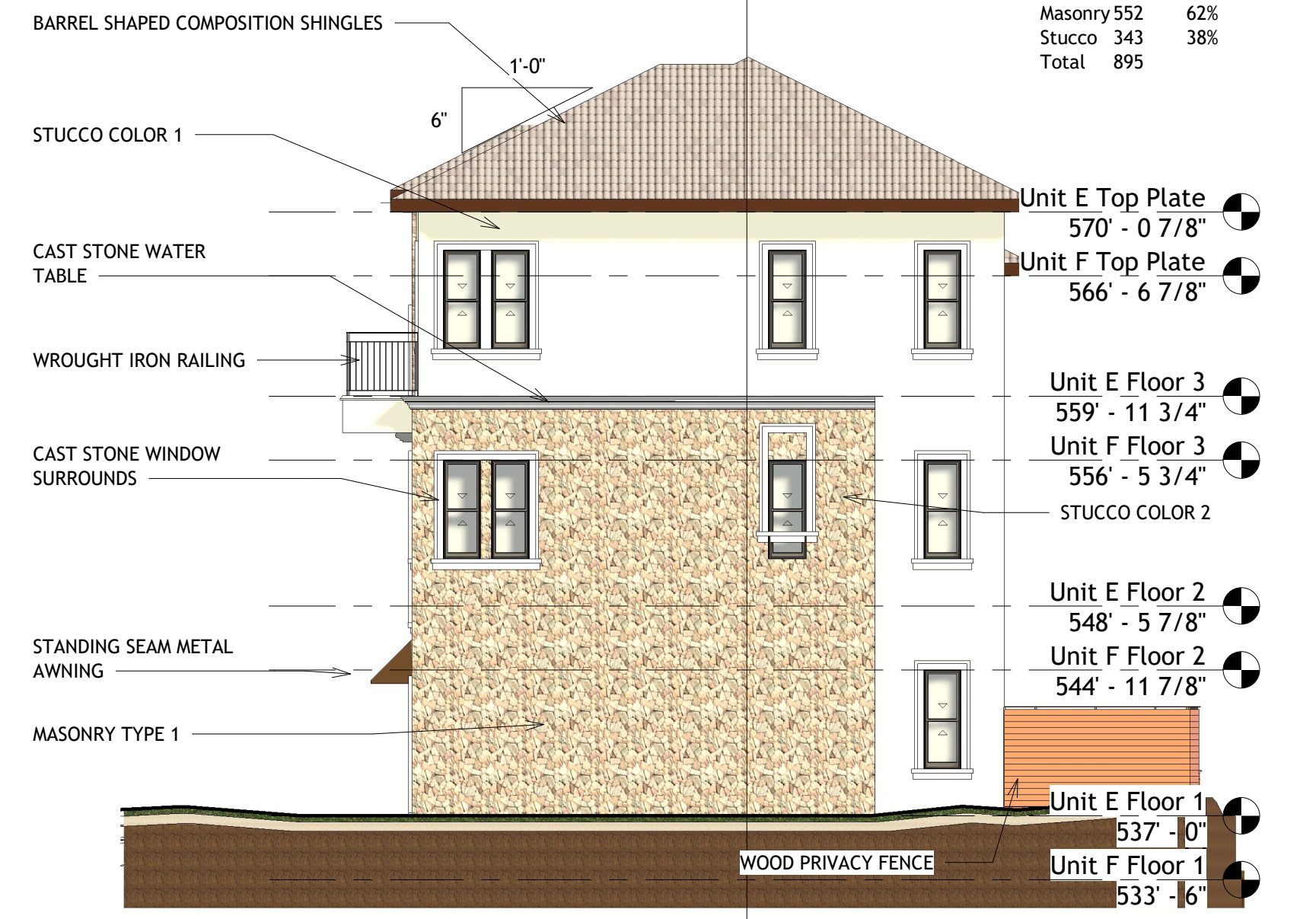
5 Building 1 Facade - North
 1/8" = 1'-0"

Building 1 Elevation South
 Masonry 1371 60%
 Stucco 924 40%
 Total 2295

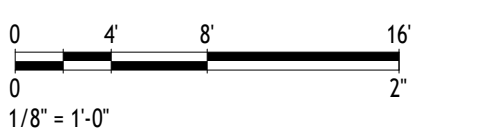


4 Building 1 Facade - South
 1/8" = 1'-0"

Building 2 Elevation South
 Masonry 552 62%
 Stucco 343 38%
 Total 895



3 Building 2 Facade - South
 1/8" = 1'-0"



GREENLIGHT

STUDIO, LLC
 www.greenlight.com

Applicant:

Greenlight Studio LLC
 100 N. Cottonwood Drive
 Suite 104
 Richardson, Texas 75080
 v: 214.810.4333

Owner:

Zappa Investments, LLC
 201 W. Kaufman St.
 Richardson, Texas 75081
 v: 972.862.1435

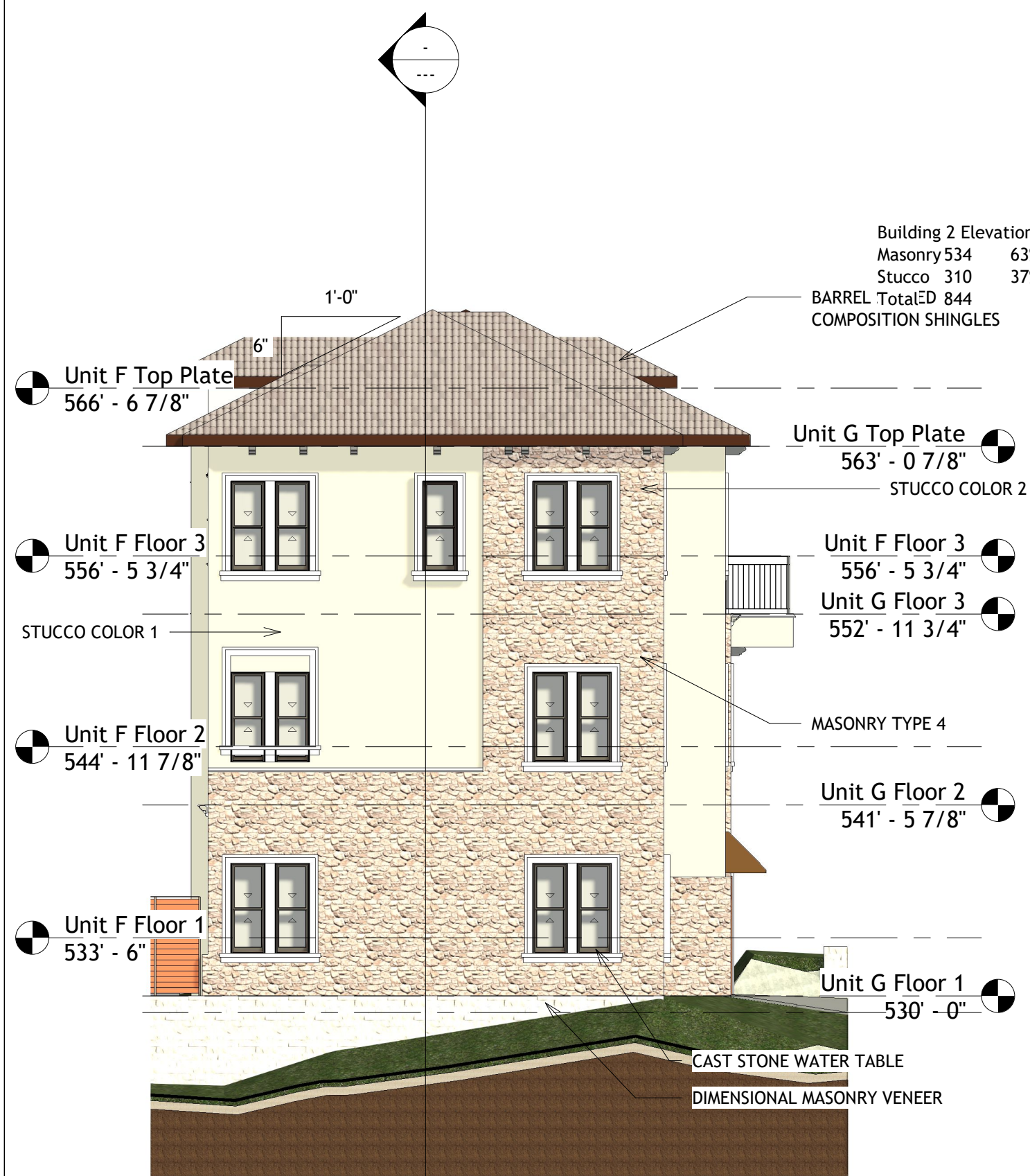
Color Elevations

Rockwall Townhomes
 Glen Hill Way
 Lot 3 Block A Harbor Hills Addition
 Rockwall, Texas

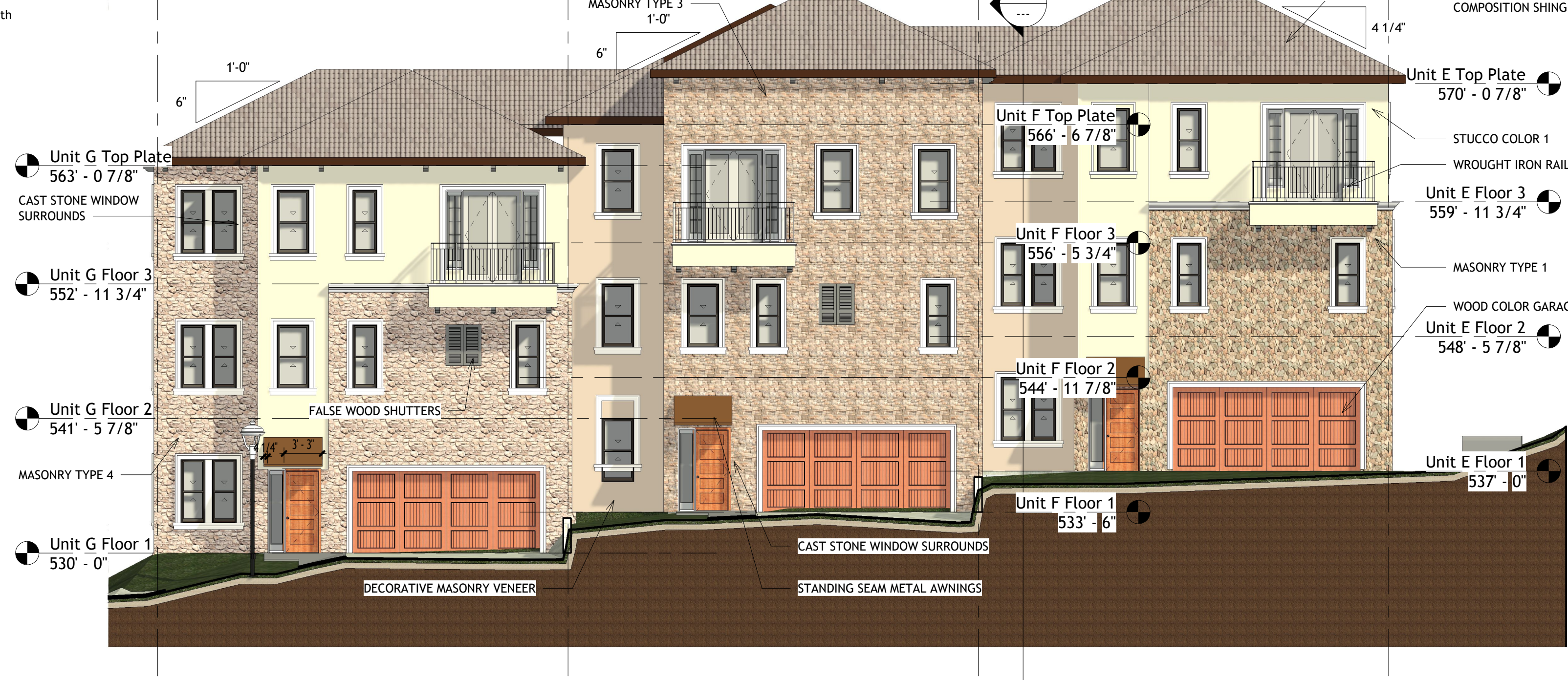
City of Rockwall, Texas
 E. Teal Survey Abstract A207

Prepared April 1, 2025

Building 2 Elevation North
 Masonry 534 63%
 Stucco 310 37%
 BARREL Total ED 844
 COMPOSITION SHINGLES



2 Building 2 Facade - North
 1/8" = 1'-0"



1 Building 2 Facade - West
 1/8" = 1'-0"

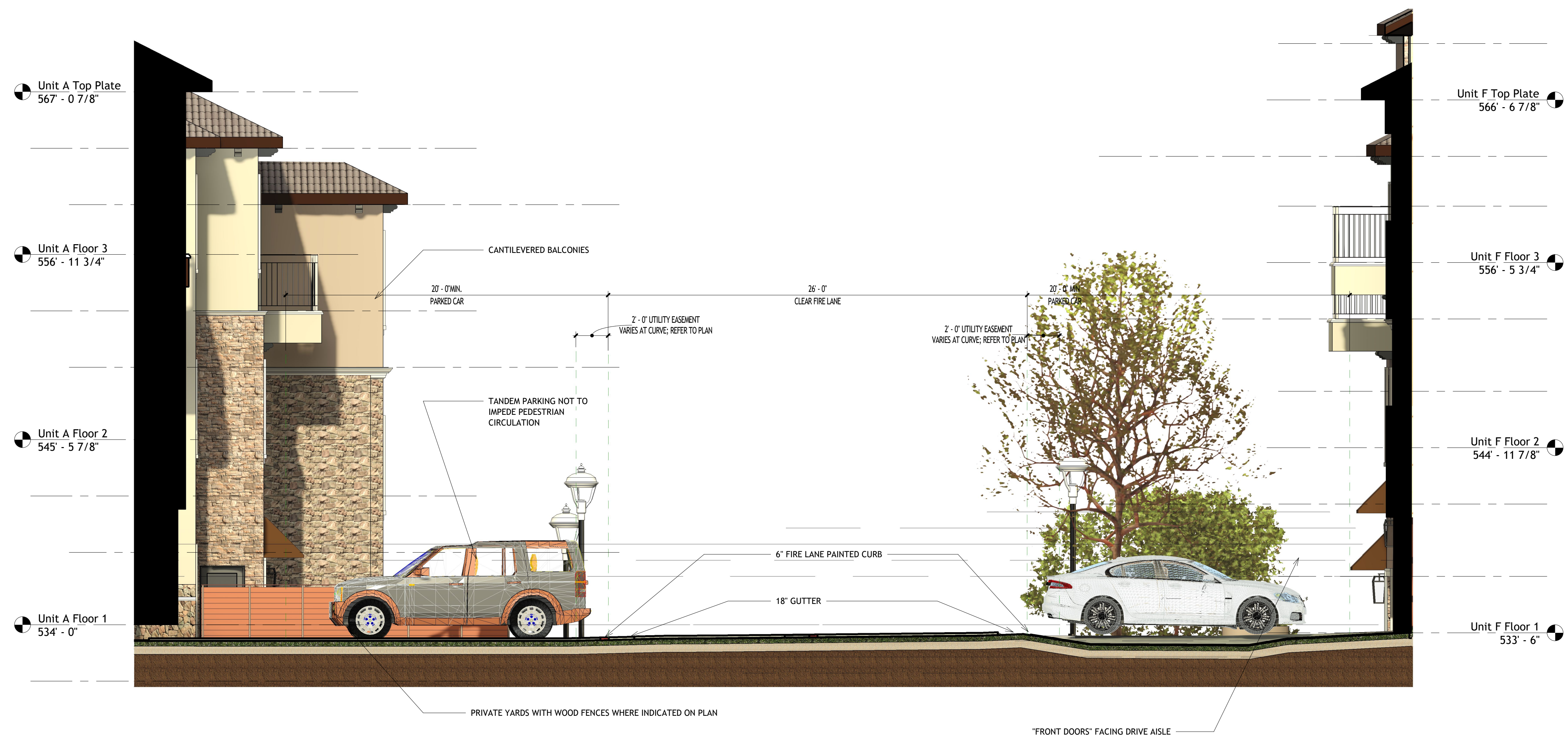




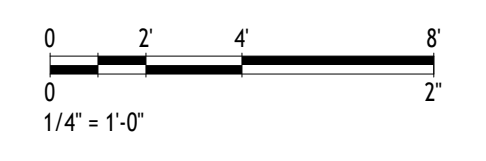








① Drive Aisle Section
1/4" = 1'-0"



GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
t: 214.810.4335

Owner:
Zappa Investments, LLC
201 W Kaufman St
Richardson, Texas 75081
t: 972.862.1435

Drive Aisle Section

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared April 1, 2025

EXHIBIT 'E-9':
Residential Sub-District

RESIDENTIAL SUB-DISTRICT

The *Residential Sub-District* is reserved for zero lot line single-family residential housing. A lower volume of traffic in this area of the Harbor District make this *Sub-District* ideal for single family use. Key characteristics of this *Sub-District* include adjacency to open space and steep slopes that offer views of the surrounding area. Existing slopes within this *Sub-District* are in the six (6) percent to 16% range. This *Sub-District* is predominately vegetated by massing of existing trees that should be preserved when possible.

BUILDING PLACEMENT

BUILD-TO-LINE (DISTANCE FROM ROW LINE)

<i>Street Type M</i>	10'
----------------------	-----

BUILDING FORM

<i>Street Type N</i>	5'
<i>Side</i>	8'
<i>Zero Lot Line</i>	0'

NOTE: A minimum of 50% of the boundary with the Open Space Sub-District along *Street Type G* must be a public street (i.e. *Street Type M*).

BUILDING FORM

<i>Street Type M Min. Façade Built to BTL</i>	65%
<i>Maximum Lot Coverage</i>	61%
<i>Minimum Lot Size</i>	30' x 90'

USE

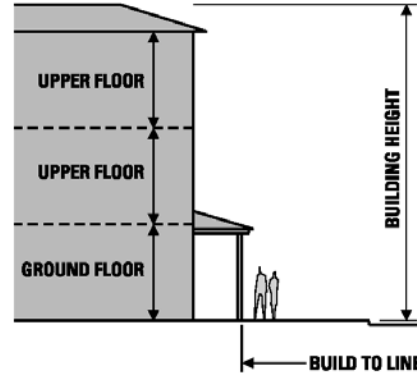
Ground Floor	Residential
Upper Floors	Residential

<i>HEIGHT</i>	<i>STORIES</i>	<i>HEIGHT</i>
<i>Maximum Building Height</i>	3	36'

ENCROACHMENTS

<i>Front</i>	5'
--------------	----

NOTE: Steps, stoops, and roof overhangs may encroach over the BTL as shown in the table above.



3 Story S.F. Residential

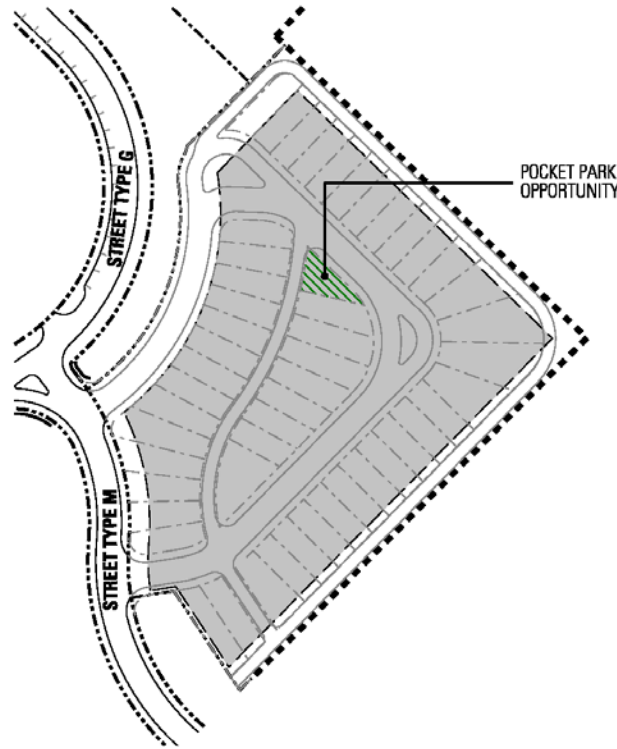


EXHIBIT 'E-9':
Residential Sub-District

RESIDENTIAL SUB-DISTRICT

FLOOR PLAN/ELEVATION REPETITION

To avoid repetition and a monotonous look to the *Sub-District* environment, the following guidelines apply regarding the repetition of floor plans and elevations:

CASE 1

When building a house having the same floor plan and the same elevation, whether on the same or opposite side of the street, four (4) full lots must be skipped. Different paint color must be used. See Figure A.

CASE 2

When building a house having the same floor plan and a different elevation on the same side of the street, three (3) full lots must be skipped. Different paint color must be used. See Figure B.

CASE 3

When building a house having the same floor plan and a different elevation on the opposite side of the street, two (2) full lots must be skipped. Different paint color must be used. See Figure B.

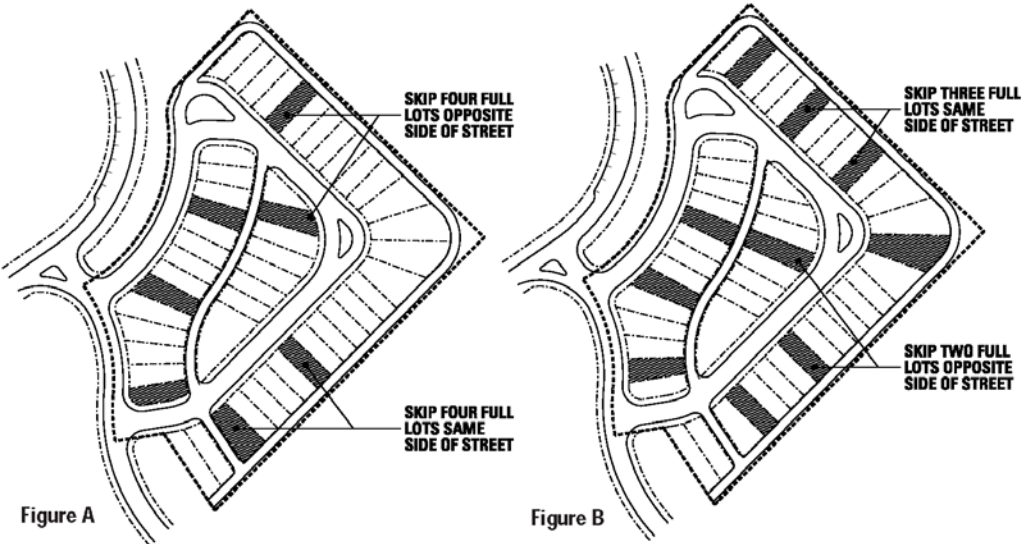


Figure A

Figure B

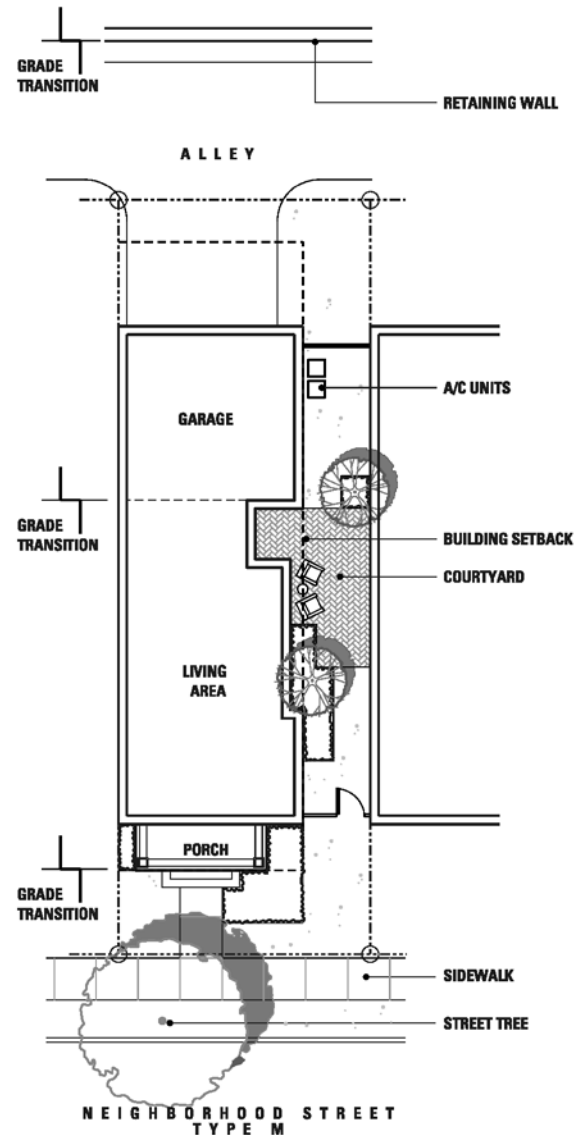
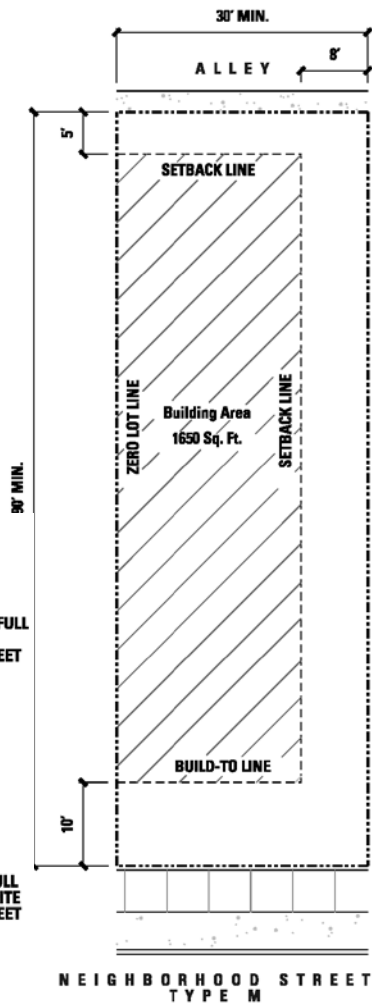


EXHIBIT 'E-9':
Residential Sub-District

RESIDENTIAL SUB-DISTRICT

ARCHITECTURAL GUIDELINES

SITE LAYOUT, GRADING AND DRAINAGE

- (1) Runoff onto adjacent properties is prohibited.
- (2) Finished floor elevations shall be set in order to provide positive drainage away from all buildings.
- (3) Create smooth slope transitions, blending with natural grades, with maximum slopes in lawn areas being 4:1.
- (4) Do not run drainage swales from planting areas across paved areas.

LANDSCAPE STRUCTURES

- (1) Basketball goals, play structures, swing sets and similar elements may only be located in side or rear yards.
- (2) All vertical construction including garages, gazebos, arbors, barbeques and fireplaces must comply with front, side and rear setbacks.
- (3) Use materials, forms, styles and colors which match or are complementary to the architectural style and detailing of the house.

POOLS AND WATER FEATURES

- (1) Swimming pools, spas and water features must comply with front, side and rear setbacks. Above grade pools or spas are not permitted.
- (2) Fencing or design solutions which provide enclosures in accordance with local ordinances and regulations must be provided.
- (3) Mechanical equipment for pools and spas must be located so as to not be visible from adjacent properties or the street. Locate or enclose equipment to minimize noise intrusion.

LIGHTING, UTILITIES AND SERVICE

- (1) Exterior ornamental and accent lighting may be used in moderation to complement landscape and architectural features. Light fixtures shall have appropriate light cutoff shields to prevent unwanted glare to neighboring properties and streets.
- (2) Post mounted light fixtures and bollard lighting are not permitted. Pathway lighting may be used, limited to 18-inches in height.

- (3) Colored, fluorescent and neon lighting is prohibited. Obtrusive HID security lighting fixtures are prohibited.
- (4) Exposed exterior floodlights or wall packs are not permitted.
- (5) All site utilities shall be underground. Transformers, meters and other utility equipment shall be screened by planting or by architectural means. Avoid clipped hedges around utility boxes.

IRRIGATION DESIGN

- (1) Irrigation is required for all home sites and shall be an automatic, underground system with rain and freeze sensors.
- (2) Design irrigation systems to separately circuit irrigation zones for plant materials having different watering requirements, such as lawns and shrubs.
- (3) Prevent overspray onto streets, pedestrian walks, driveways and buildings.

DRIVEWAYS

- (1) Driveways shall be paved with concrete, pavers, or integrally colored concrete with charcoal grey color. Chemical staining enhancements are not permitted. Driveways may not be painted with an opaque coating.

GARAGES

- (1) Garages must be rear loaded from an alley.
- (2) All garages must hold a minimum of one and a maximum of two cars. Guest parking spaces shall be on street.

BUILDING MASSING

- (1) The house footprint shall be composed of squares and rectangles placed at right angles to one another. The geometry of each of these shapes shall be uninterrupted by adjacent shapes.
- (2) All building footprints shall be at right angles to the property lines. Compose house forms to create exterior space.
- (3) Massing may be either symmetrical or asymmetrical. The dominant architectural mass shall be located near the center of the composition.

ROOFS

- (1) The individual shapes which compose the house footprint shall each be roofed by a symmetrical gable, hip, or a simple roof form.
- (2) The geometry of each roof form shall be uninterrupted by adjacent roof forms. Valleys are discouraged, except for dormers.

WALL MATERIALS

- (1) Exterior wall materials shall be any of the following:
 - A. Fiber cement board siding and shingles, primed and painted, "Hardie" type boards. Siding shall be installed horizontally only, lapped clap board style with narrow lap exposures preferred over wide exposures.
 - B. Portland cement stucco with integral color
 - C. Brick masonry
 - D. Stone masonry
 - E. Cast stone masonry
 - F. Fireplace masses and chimneys shall be clad in noncombustible materials to match exterior house materials.
 - G. Aluminum, masonite, and vinyl siding are not permitted.
- (2) Exterior wall materials may change at a vertical line which delineates a change in building form, or along horizontal lines.

EXTERIOR FINISHES

- (1) All wood and composite surfaces shall be finished with paint, applied over an appropriate primer. Opaque and semi-opaque stain may be used.

TRIM

- (1) All trim, where used, shall be cement fiber board, cedar, or quality wood products. Trim shall be a minimum ¾-inch thick with flat surfaces. Built up assemblies, shaped profiles, and ornamental embellishments are to be avoided.

EXHIBIT 'E-9':
Residential Sub-District

RESIDENTIAL SUB-DISTRICT

ARCHITECTURAL GUIDELINES

DOORS

- (1) All exterior doors shall be wood or metal, hinged, of rail and stile construction, with one (1) to six (6) panels. Dormers above doors are encouraged. Panels shall be glazed or flat wood (not raised panels). Doors shall be painted.
- (2) Exterior doors shall be swing type, of solid wood or wood veneer, and shall be painted, or clad in pre-finished metal.

SCREEN DOORS

- (1) Screen doors are allowed. Screen doors shall be of wood rail and stile construction, with one (1) to six (6) panels. All panels shall be screened. Screen doors shall be painted.
- (2) Storm doors are not permitted at the front door but are allowed at side and rear doors.

GARAGE DOORS

- (1) Garage doors shall be overhead roll-up construction with horizontal insulated metal panels.
- (2) Garages may have maximum 18-foot wide doors.

EXTERIOR DOOR HARDWARE

- (1) Oversize or overly ornamented door hardware or escutcheon trim plates are not permitted on the front door.

WINDOWS

- (1) Windows shall be casements, awnings, or double or single hung. Each window shall be glazed by a single panel of insulated glass, or may be divided into no more than four (4) panels. Fake mullions are discouraged.
- (2) Windows may be of wood, thermally broken aluminum or aluminum-clad wood construction. Vinyl or vinyl-clad construction is not permitted.
- (3) All operable windows shall be equipped with insect screens.
- (4) Bay windows shall be glazed a minimum of 80% of their width.

EXTERIOR WINDOW SHUTTERS

- (1) Window shutters are permitted provided they are proportioned to fully cover the windows they would protect. Shutters may be wood or synthetic.

AWNINGS

- (1) Window awnings are not permitted, with the exception of shutter awnings.

GLAZING

- (1) Window and door glazing shall be clear, insulated, double-pane, low-emissivity glass. Applied window films are not permitted.

ROOFS

- (1) Roofs may be covered in composite asphalt shingles. Composition shingles must be minimum 25-year dimensional, laminated type. Flat, three (3) tab shingles will not be permitted. An example of approved roof shingle type is Tamko "Heritage 30." Standing seam metal roofing and other metal roof types may be used.
- (2) All roof penetrations, other than chimneys, shall be grouped as far from frontages as possible, shall not be visible from the street and shall be painted as needed to match roof. Skylights shall not be visible from the street.
- (3) All soffit venting shall be 2-inch continuous venting or perforated "Hardisoffit" panels. No box vents shall be used. No vinyl material may be used.
- (4) Dormers shall be appropriately proportioned, hip or gable, with a minimum 6:12 pitch. They shall be glazed a minimum of 90% of their face and must be open to the interior roof area beyond.
- (5) Roof ventilation dormers are permitted only on the side and rear elevations and must be vented a minimum of 90% of their face.
- (6) Dormers shall have minimum overhangs and eaves. Stucco or "Hardi" Siding or Panels are recommended in dormer gables.
- (7) All exposed metal flashing shall be unpainted galvalume, paint-grip or galvanized steel.

- (8) Roof attic vents shall be continuous ridge vents such as "Cool Ridge." Powered attic vents are not allowed. Turbine vents may be allowed by variance, but must not be visible from the street.
- (9) Satellite dishes and roof antennae shall not be visible from the street.

CHIMNEYS

- (1) All chimneys must be fitted with a galvanized metal chimney cap with a 'roof' that is the same size and shape as the chimney it covers. The roof form may be flat or hipped.
- (2) The chimney cap must include metal mesh, screen or grid to prevent animals from entering the chimney.
- (3) Acceptable finishes are natural 'paint-grip' galvanized or painted galvanized.

RAIN GUTTERS

- (1) Rain gutters and downspouts may be of any profile compatible with the style of the house and roof. Gutters and downspouts shall be located in a way as to not draw attention to themselves.
- (2) Gutters and downspouts shall be unpainted galvalume, "paint-grip" steel or zinc finishes, although prefinished metal finishes may be permitted.
- (3) Downspouts shall terminate at splash blocks, gravel, brick or concrete.

PAINT

- (1) All exterior finish coat paint shall be acrylic latex or latex enamel.

EXHIBIT 'E-9':
Residential Sub-District

RESIDENTIAL SUB-DISTRICT

ARCHITECTURAL GUIDELINES

PORCH CONSTRUCTION

- (1) Porch columns shall be wood posts, minimum six (6) inch by six (6) inch, painted and free of ornamentation.
- (2) Porches shall have wood railings. Railing details must be included with plan submissions for approval.
- (3) Porch floors shall be concrete, stone or brick. Porch construction shall be concrete slab foundation, built as part of the house.
- (4) Porches and covered balconies may be screened at the rear of the homes only.

ELEMENTS NOT PERMITTED

The following list of elements are not permitted in the development:

- ☑ Window A/C Units
- ☑ Exterior Fluorescent Lighting
- ☑ Solar Powered Landscape Lighting
- ☑ Soffit/Cornice Lighting Visible from a Public ROW
- ☑ Skylights Visible from a Public ROW
- ☑ Antennas or Satellite Dishes Greater Than 18-inch Diameter
- ☑ Decorative Flags - Properly Displayed American Flags are Allowed
- ☑ Concrete Statuary Visible from Public ROW
- ☑ Plastic Furniture or Artificial Plants Visible from a Public ROW
- ☑ Asphalt or Gravel Drives



ARCHITECTURAL DETAIL CHARACTER



RESIDENTIAL STREET EDGE CONDITION

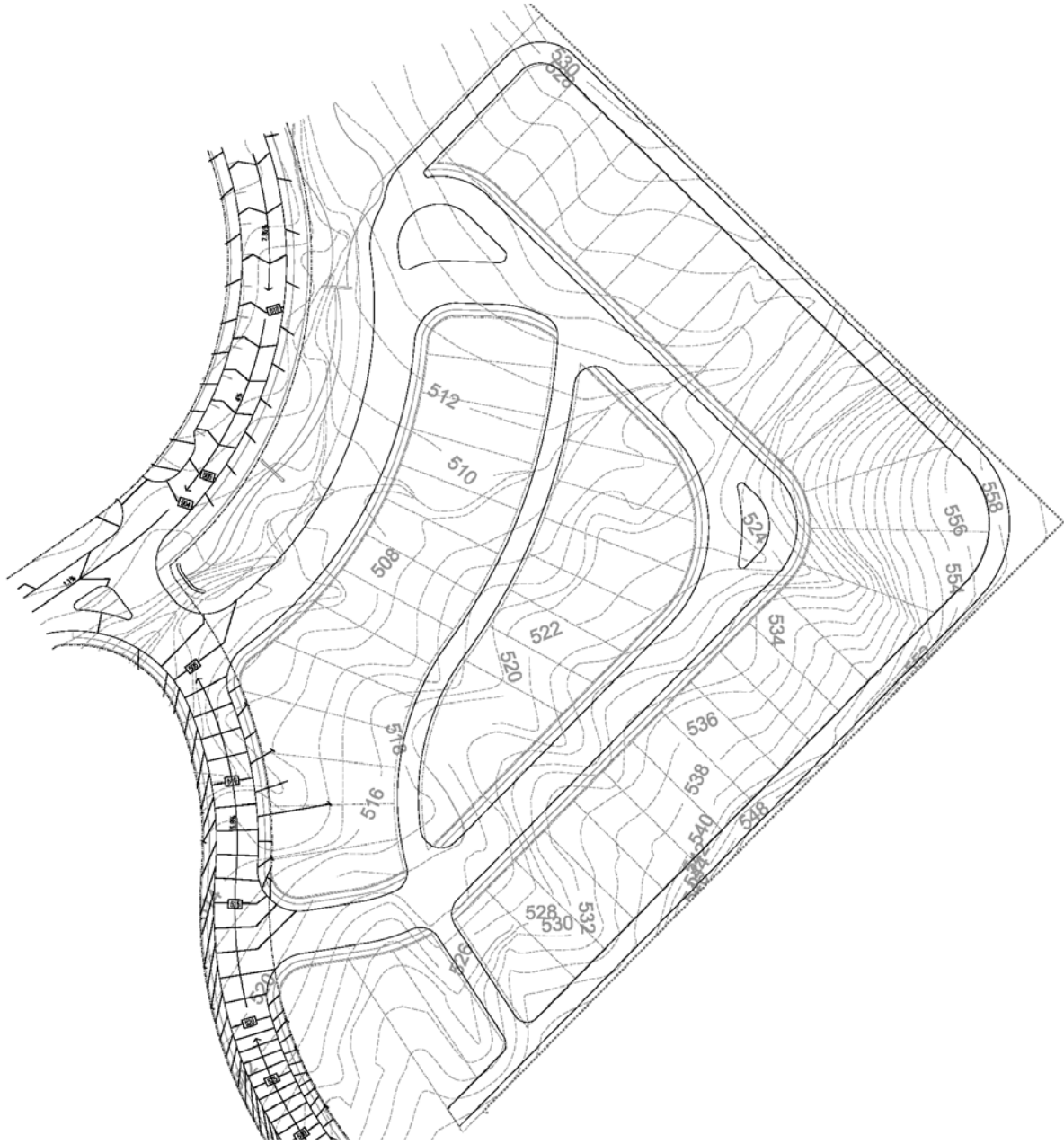


RESIDENTIAL STREET CHARACTER



RESIDENTIAL STREET EDGE CONDITION

EXHIBIT 'E-9':
Residential Sub-District



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO. 17-22] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A PD DEVELOPMENT PLAN FOR EIGHT (8) TOWNHOMES ON A 0.871-ACRE PARCEL OF LAND IDENTIFIED AS LOT 3, BLOCK A, HARBOR HILLS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a *PD Development Plan* for eight (8) townhomes to be situated within the *Residential Subdistrict*, on a 0.871-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas and more fully described and depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [*Ordinance No. 17-22*] and the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 32 (PD-32) [*Ordinance No. 17-22*] and the Unified Development Code [*Ordinance No. 20-02*], as heretofore amended, shall be further amended by adopting this *PD Development Plan* and amending the official zoning map of the City of Rockwall for the *Subject Property*; and,

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Conceptual Building Elevations*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

SECTION 4. That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], the Unified Development Code [*Ordinance No. 20-02*], and in compliance with the following conditions and requirements:

- (1) The development of the subject property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- (2) The development of the subject property shall generally conform to the proposed *Conceptual Building Elevations* depicted in *Exhibit 'C'* of this ordinance and to the design guidelines contained in *Resolution No. 10-40*.
- (3) The proposed townhome development shall not contain more than eight (8) townhomes.
- (4) All building materials and color schemes proposed for this development should conform to the requirements stipulated by Planned Development District 32 (PD-32) [*as amended*].
- (5) Prior to the issuance of a building permit the applicant shall submit and seek approval for a detailed *PD Site Plan* that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and with the requirements approved in this ordinance.

SECTION 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 8. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7th DAY OF APRIL, 2025.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

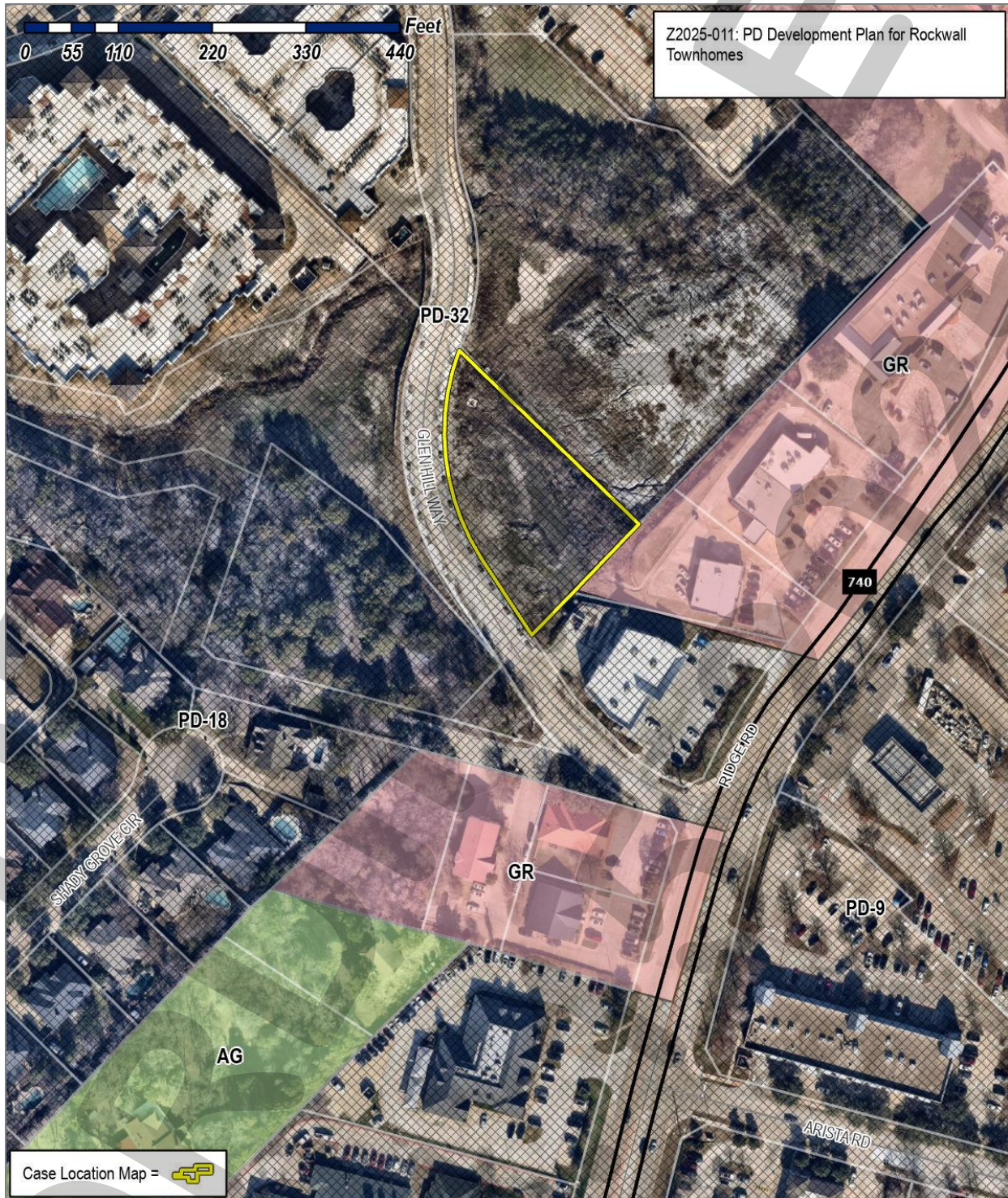
1st Reading: March 17, 2025

2nd Reading: April 7, 2025

DRAFT
ORDINANCE
04.15.2025

**Exhibit 'A':
Location Map**

Legal Description: Lot 3, Block A, Harbor Hills Addition



**Exhibit 'B':
Concept Plan**

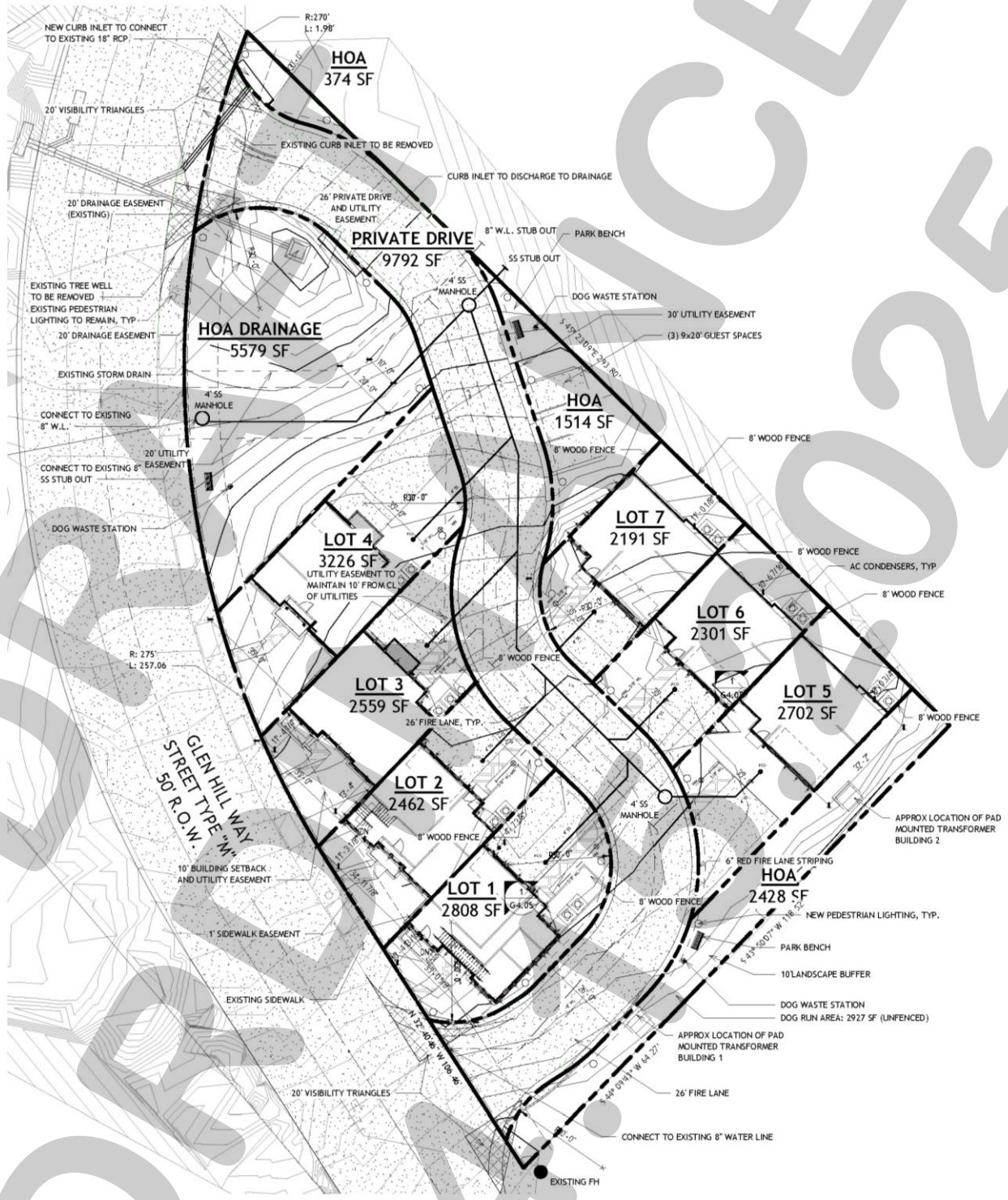


Exhibit 'C': Conceptual Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 15, 2025
APPLICANT: David Gamez
CASE NUMBER: Z2025-012; *Specific Use Permit (SUP) for a Residential Infill at 614 Boydston Avenue*

SUMMARY

Hold a public hearing to discuss and consider a request by David Gamez for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.17-acre parcel of land identified as Lot 3, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 614 E. Boydston Avenue, and take any action necessary.

BACKGROUND

According to the City's annexation ordinances and the 1934 Sanborn Maps, the subject property was platted as part of the B.F. Boydston Addition prior to 1959 and after 1934. Per the City's historic zoning maps, the subject property was originally zoned Commercial (C) District as of January 3, 1972. Between this date and December 7, 1993, the subject property was rezoned from a Commercial (C) District to a Single-Family 7 (SF-7) District and has remained zoned Single-Family 7 (SF-7) District since this change. The subject property has been situated within the Southside Residential Neighborhood Overlay (SRO) District since its inception on June 3, 1996 by *Ordinance No. 96-12*. On November 20, 2023, the City Council approved a Replat [*i.e. Case No. P2023-034*] establishing two (2) lots on the subject property.

PURPOSE

The applicant -- *David Gamez* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 614 E. Boydston Avenue. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is E. Boydston Avenue, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are six (6) parcels of land (*i.e. 611, 613, 615, 615, 619, 621, & 627 E. Boydston Avenue*) developed with single-family homes and one (1) vacant lot (*i.e. 617 E. Boydston Avenue*). All of these properties are zoned Zero Lot line (ZL-5) District. North of this is a 0.34-acre parcel of land (*i.e. Lot N of the B.F. Boydston Subdivision*) which is identified as an abandoned roadway.

South: Directly south of the subject property is the Ridgell Subdivision, which consists of seven (7) lots that are situated on 1.67-acres of land. Beyond this is the Strange Denson Addition, which consists of one (1) lot [*i.e. 713 Sherman Street*], is 100% developed, and has been in existence since October 15, 1990. All of these properties are zoned Single-Family 7 (SF-7) District. South of this is a 7.00-acre tract of land which belongs to the Dallas-Garland & northeastern Railroad and is zoned Planned Development District 52 9PD-52).

East: Directly east of the subject property is a 1.132-acre tract of land (*i.e. Lots A 7 C, Block 110, B.F. Boydston Addition*) developed with a commercial property. Beyond this is a 0.1377-acre parcel of land (*i.e. Block 110 of the*

B.F. Boydston Addition) which is also developed with a commercial property. Both of these parcels are zoned Planned Development District 52 (PD-52). East of this is S. Clark Street, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Sherman Street, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Lamar Street Habitat No. 1 Subdivision, which consists of 112 residential lots and is zoned Single-Family District 7 (SF-7) District. West of this is Lamar Street, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90.00% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is adjacent to the Ridgell Subdivision, which is 100% developed, consists of 7 residential lots, and has been in existence for more than ten (10) years. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being within an established subdivision, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing within close proximity of E. Boydston Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing in Close Proximity to the Subject Property	Proposed Housing
Building Height	One (1) and Two (2) Story	One (1) Story
Building Orientation	All homes face onto the street they front on.	The front elevation of the home will face onto E. Boydston Street.
Year Built	1980- 2020	N/A
Building SF on Property	980 SF – 19,586 SF	1,031 SF
Building Architecture	Single Family Homes, Two (2) Vacant Lots, and Two (2) Commercial Properties	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	20-Feet	20-Feet
Side	6- feet	6-Feet
Rear	10-Feet	X>10-Feet
Building Materials	Brick, Siding, Stone and Metal	Board and Batten Siding
Paint and Color	Brown, Red, White, Orange, Yellow	N/A
Roofs	Composite Shingles and Metal Roofs	Composite Shingle
Driveways/Garages	Driveways all front the same street the single-family home faces. Homes consist of front entry garages, j-swing garages, or no garages.	The proposed garage will be a front entry garage and will face onto E. Boydston Street.

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along E. Boydston Avenue, Sherman Street, and S. Clark Street and also provided the proposed

building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On March 18, 2025, staff mailed 76 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowners Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received two (2) notices in opposition to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance.
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 614 E Boydston Rockwall TX 75087
 SUBDIVISION: BLOCK A OF Rigell's Subdivision LOT 3 BLOCK A
 GENERAL LOCATION: New Replat Next to 614 E Boydston

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: SF-7 CURRENT USE: SF-7
 PROPOSED ZONING: PROPOSED USE:
 ACREAGE: .17 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER: DAVID GAMEZ APPLICANT
 CONTACT PERSON: CONTACT PERSON:
 ADDRESS: 614 E Boydston ADDRESS:
 CITY, STATE & ZIP: Rockwall TX 75087 CITY, STATE & ZIP:
 PHONE: 972-679-6635 PHONE:
 E-MAIL: 3boysinschool@gmail.com E-MAIL:

NOTARY VERIFICATION [REQUIRED]

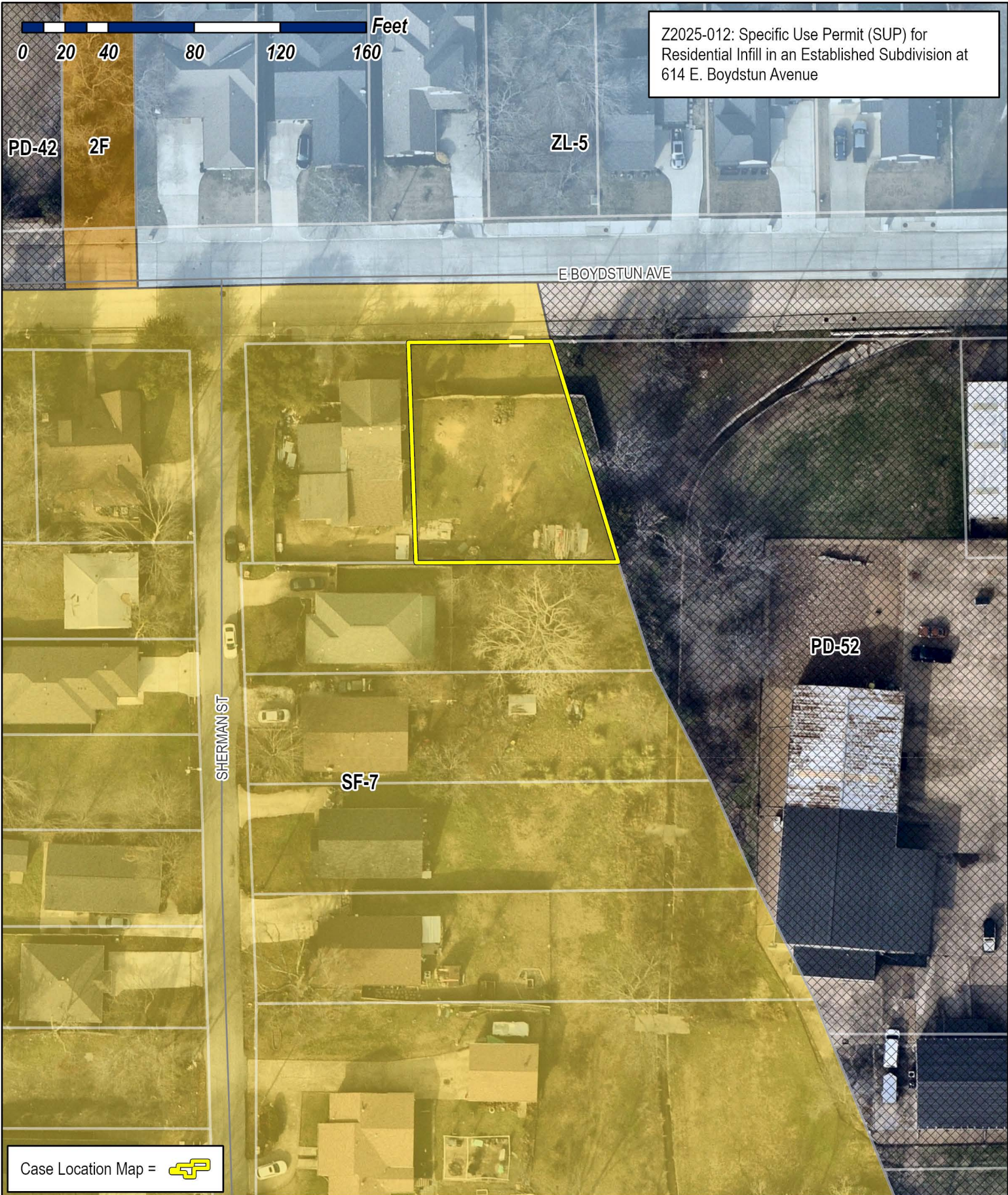
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Gamez [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 225 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 6-10-25 DAY OF June 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF March, 2025.
 OWNER'S SIGNATURE: David Gamez

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Theresa L. Moss





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

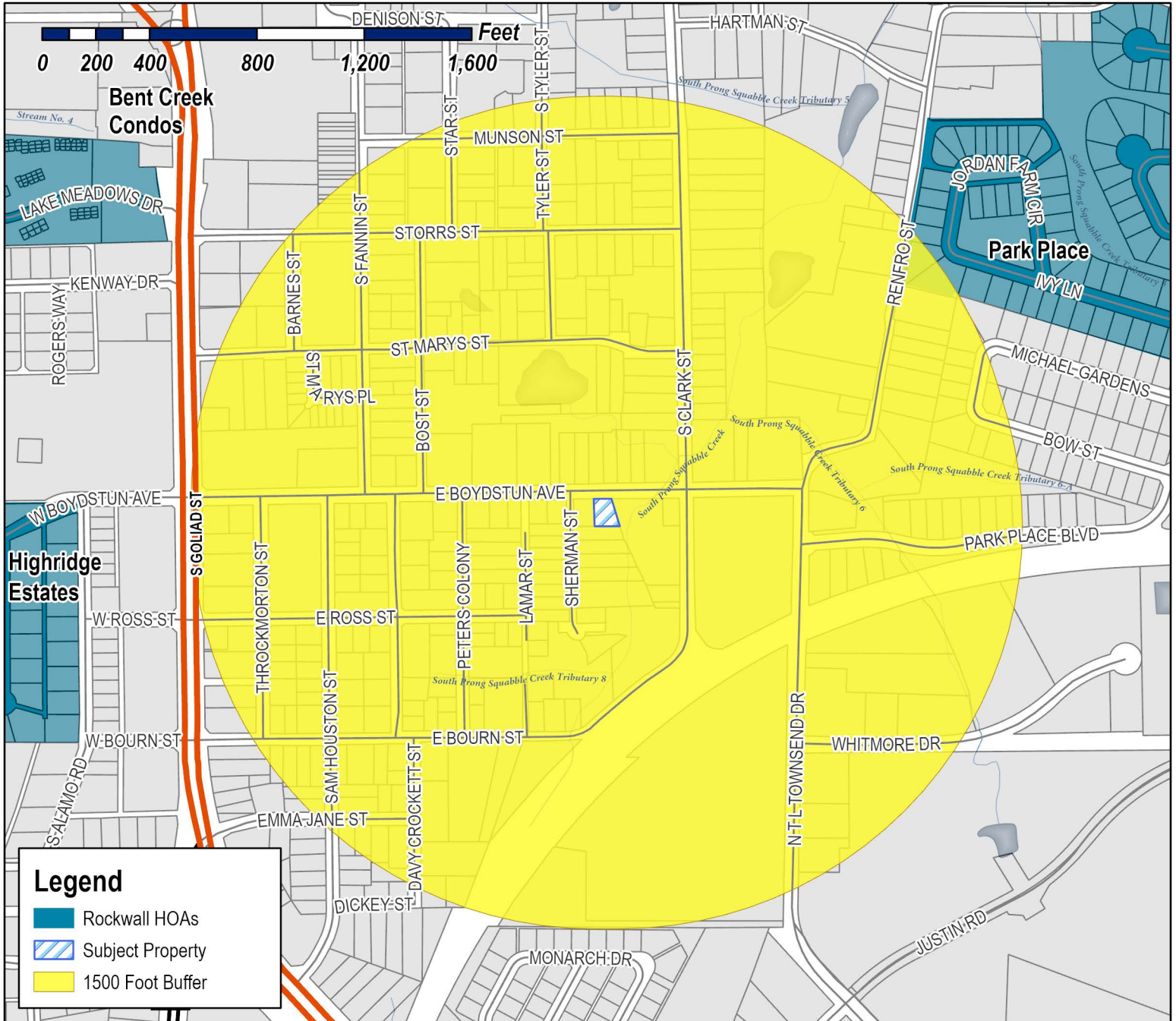
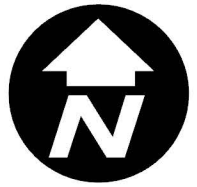




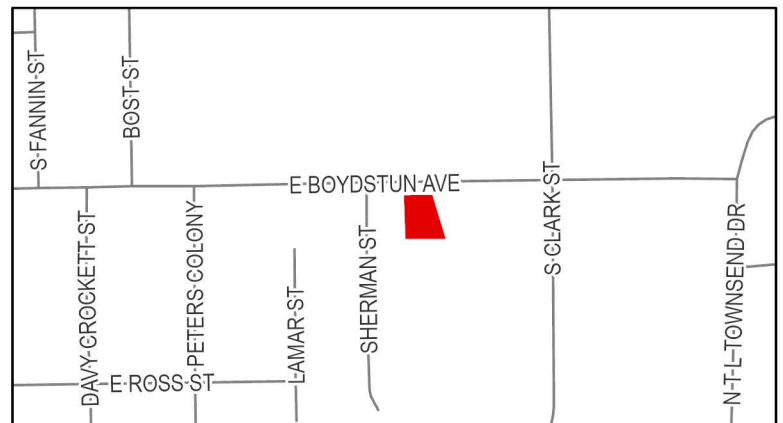
City of Rockwall

Planning & Zoning Department
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Case Number: Z2025-012
Case Name: Specific Use Permit (SUP) for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 614 Boydston E. Avenue



Date Saved: 3/14/2025

For Questions on this Case Call (972) 771-7745

From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2025-012]
Date: Wednesday, March 19, 2025 9:31:56 AM
Attachments: [HOA Map \(03.19.2025\).pdf](#)
[Public Notice \(03.17.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, March 21, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, April 15, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, April 21, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2025-012: Specific Use Permit (SUP) for a Residential Infill

Hold a public hearing to discuss and consider a request by David Gamez for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision on a 0.17-acre parcel of land identified as Lot 3, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 614 E. Boydston Avenue, and take any action necessary.

Thank you,

Melanie Zavala

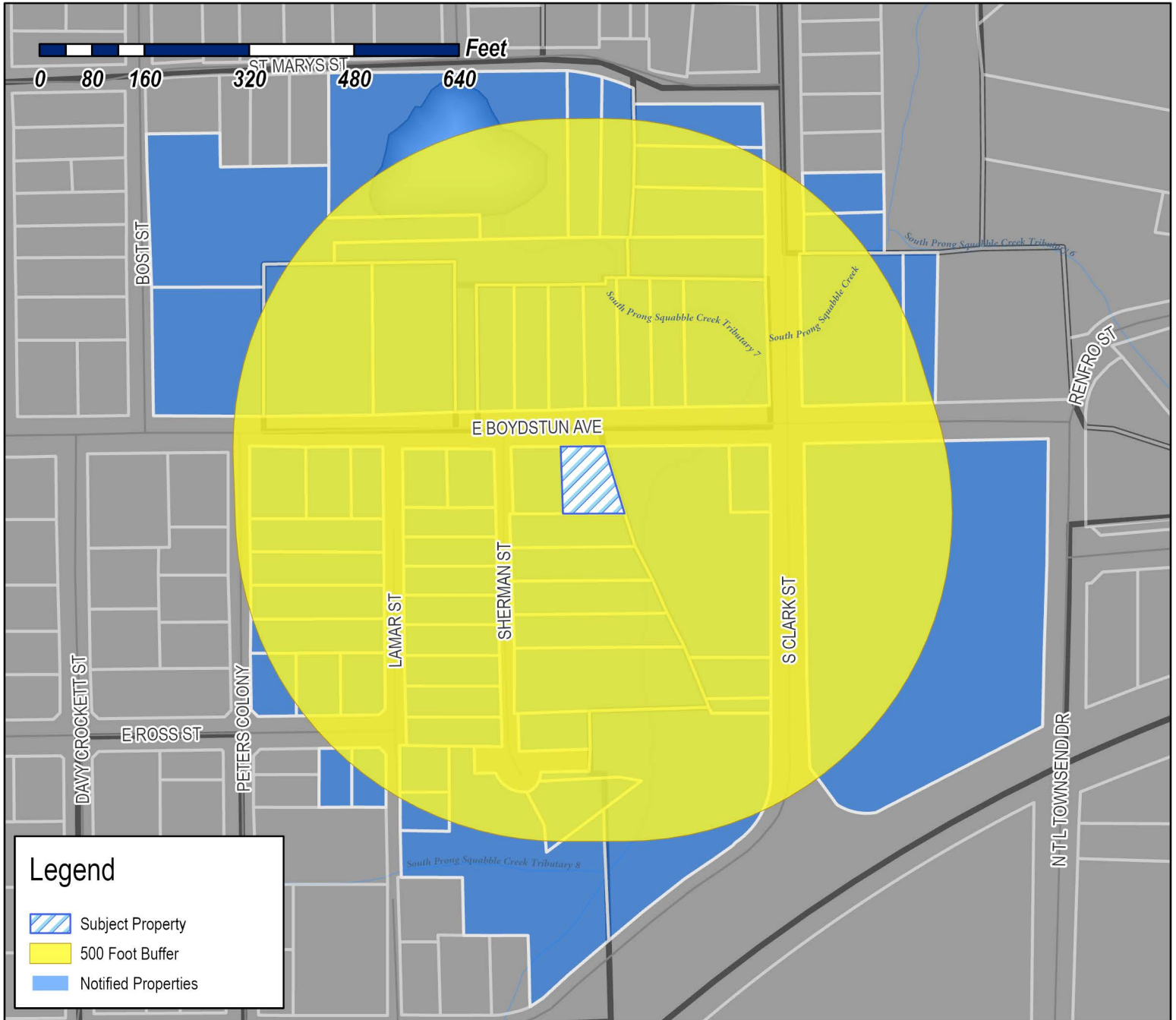
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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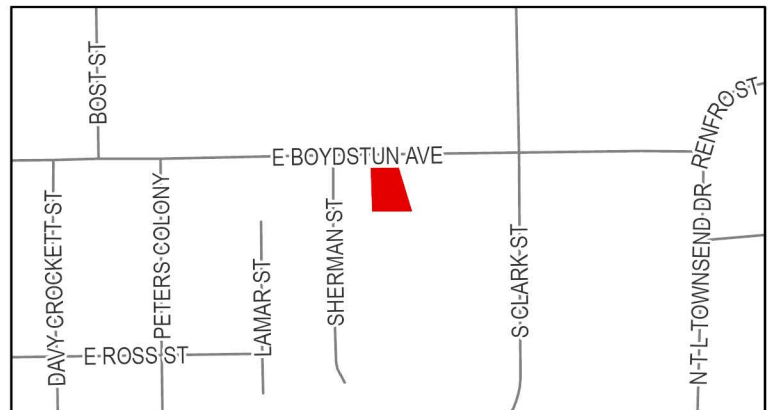
Legend

- Subject Property
- 500 Foot Buffer
- Notified Properties

Case Number: Z2025-012
Case Name: Specific Use Permit (SUP) for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 614 Boydstun Avenue

Date Saved: 3/14/2025

For Questions on this Case Call: (972) 771-7745



JOHNSON PAMELA
1310 COLONY DR
GARLAND, TX 75040

RSR CAPITAL LLC
1321 CRESENT COVE DRIVE
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
143 STONELEIGH DRIVE
HEATH, TX 75032

HOGUE MIKE & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

PIERATT ALAN & MELODY
1540 MEADOWS CIR
ROCKWALL, TX 75087

HERNANDEZ ROSA ALBA
2040 SHERWOOD DR
GARLAND, TX 75041

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

BENSLEY MARCO AND DARBY KATHRYN
2255 GARDEN CREST DR
ROCKWALL, TX 75087

DENSON PATRICIA STRANGE
2521 LOUDON ST W
ROCKWALL, TX 75032

CRP/TH SFR PROGRAM TX OWNER LP
2875 W RAY RD
CHANDLER, AZ 85224

BOSS MORRIS E AND
DEBRA K BOSS
408 RIDGEVIEW
ROCKWALL, TX 75087

COCHRAN LIVING TRUST
JOE B COCHRAN & SANDRA COCHRAN -
TRUSTEES
4405 VIA DEL NORTE
MESQUITE, TX 75150

GRUBBS JOHN W
501 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
507 E BOYDSTUN AVE
ROCKWALL, TX 75087

NIX ROSALIA
602 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
602 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
604 E BOYDSTUN AVE
ROCKWALL, TX 75087

CAMELI CHAZ CRISTIAN NECOLA & LAUREN
604 E ROSS ST
ROCKWALL, TX 75087

RESIDENT
604 S CLARK ST
ROCKWALL, TX 75087

GENTRY GENEVA
605 BOST ST
ROCKWALL, TX 75087

KRONLAGE HOLLIE
605 E ROSS STREET
ROCKWALL, TX 75087

CASTILLO JUAN JAIME
605 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
606 ROSS
ROCKWALL, TX 75087

RESIDENT
606 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
606 S CLARK ST
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

RESIDENT
607 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
607 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
608 ST MARYS ST
ROCKWALL, TX 75087

RESIDENT
608 E BOYDSTUN AVE
ROCKWALL, TX 75087

HUBBARD ALPHINEEZES
609 E ROSS ST
ROCKWALL, TX 75087

SCHUMANN LAURIE A
610 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
610 S CLARK ST
ROCKWALL, TX 75087

FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

SMITH CHARLES ELLIOT
611 E BOYDSTUN AVE
ROCKWALL, TX

CARPENTER KATHRYN ANN
613 E BOYDSTUN AVE
ROCKWALL, TX 75087

GAMEZ DAVID
614 E BOYDSTUN AVE
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75032

RESIDENT
617 E BOYDSTUN AVE
ROCKWALL, TX 75087

KENNEDY BLAKE
619 E Boydston Ave
Rockwall, TX 75087

RANDOLPH JAMES R JR
621 E. BOYDSTUN AVE
ROCKWALL, TX 75087

DITO JAAP & ESTHER
627 E Boydston Ave
Rockwall, TX 75087

KAUFMANN PROPERTIES LLC
% DOUGLAS A KAUFMANN
627 SORITA CIR
HEATH, TX 75032

TALARICO CHRISTOPHER AND JUSTIN
633 STILLMEADOW DR
RICHARDSON, TX 75081

RESIDENT
702 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
703 SHERMAN
ROCKWALL, TX 75087

RESIDENT
703 E BOYSTUN AVE
ROCKWALL, TX 75087

EBY JENNIFER
703 PETERS COLONY
ROCKWALL, TX 75087

SCROGGINS MURRAY
704 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

STRANGE ANTHONY I SR & LISA D
705 N SHERMAN
ROCKWALL, TX 75087

ANDUJAR AMY ELIZABETH MAYER
705 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
706 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
706 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
707 S CLARK
ROCKWALL, TX 75087

ABARCA JOANNE
707 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
708 SHERMAN ST
ROCKWALL, TX 75087

MURPHREE LYNDI LOUISE & CAMERON JUSTIN
LEE
709 PETERS COLONY
ROCKWALL, TX 75087

SMITH PAMELA K
709 SHERMAN STREET
ROCKWALL, TX 75087

SANCHEZ FATIMA L
710 SHERMAN ST
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
712 CLARK ST
ROCKWALL, TX 75087

RESIDENT
712 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
713 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
714 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
715 SHERMAN ST
ROCKWALL, TX 75087

CABRERA JUAN R & NOEMI E
715 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
716 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
725 PETERS COLONY
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE
801 LAMAR ST
ROCKWALL, TX 75087

RICHARD EXPO
820 E HEATH ST
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
880 SHORES BLVD
ROCKWALL, TX 75087

HILLMAN HOUSING LLC
9706 HEARTSTONE LANE
ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD
ATTN: ACCOUNTS PAYABLE
SUITE 300 200 MERIDIAN CENTRE BLVD
ROCHESTER, NY 14618

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-012: Specific Use Permit (SUP) for a Residential Infill

Hold a public hearing to discuss and consider a request by David Gamez for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.17-acre parcel of land identified as Lot 3, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 614 E. Boydston Avenue, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 15, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 21, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 21, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-012: Specific Use Permit (SUP) for a Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2025-012: Specific Use Permit (SUP) for a Residential Infill

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name: Alan + Melody Pieratt - wL Jurgens

Address: 1540 MEADOWS CIR. — 505 E BOYDSTUN 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Rockwall, TX 75087

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2025-012: Specific Use Permit (SUP) for a Residential Infill

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

House doesn't fit design of neighborhood

Name: Amy Mayer-Andujar
Address: 705 Peters Colony Point Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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PUBLIC NOTICE



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PHONE: (972) 771-7745
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Ryan Miller, AICP
Director of Planning & Zoning



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--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-012: Specific Use Permit (SUP) for a Residential Infill

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Please See Attached

Name: *J. Corky Rudolph*
Address: *621 E Boydston Ave*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

April 15, 2025

Rockwall Planning and Zoning Commission
385 S. Goliad
Rockwall, TX 75087

Re: Z2025-012

Dear Zoning Commissioners,

I my name is Corky Randolph. I live at 621 E. Boydston Avenue, and I am writing to express my opposition to the following case:

Z2025-012 (ANGELICA GUEVARA)

Hold a public hearing to discuss and consider a request by David Gamez for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.17-acre parcel of land identified as Lot 3, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 614 E. Boydston Avenue, and take any action necessary.

I live across the street from Mr. Gamez. My house was constructed in 2017 by Scott Lewis Custom Homes. My home was designed to fit the residential infill zoning per the City of Rockwall's requirements at the time and was constructed with a mix of masonry and brick and has a "J Swing" garage entry and setbacks that were dictated by the city. Below is a current photograph of my home.



Over the past 10-15 years, all the homes that have been built on the north side of Boydston Avenue and one on the southside of Boydston, have been built to this standard. Please see the photos of my neighbor's houses below:

627 E. Boydston Ave.



619 E. Boydston Ave.



615 E. Boydstrun Ave,



613 E. Boydston Ave.



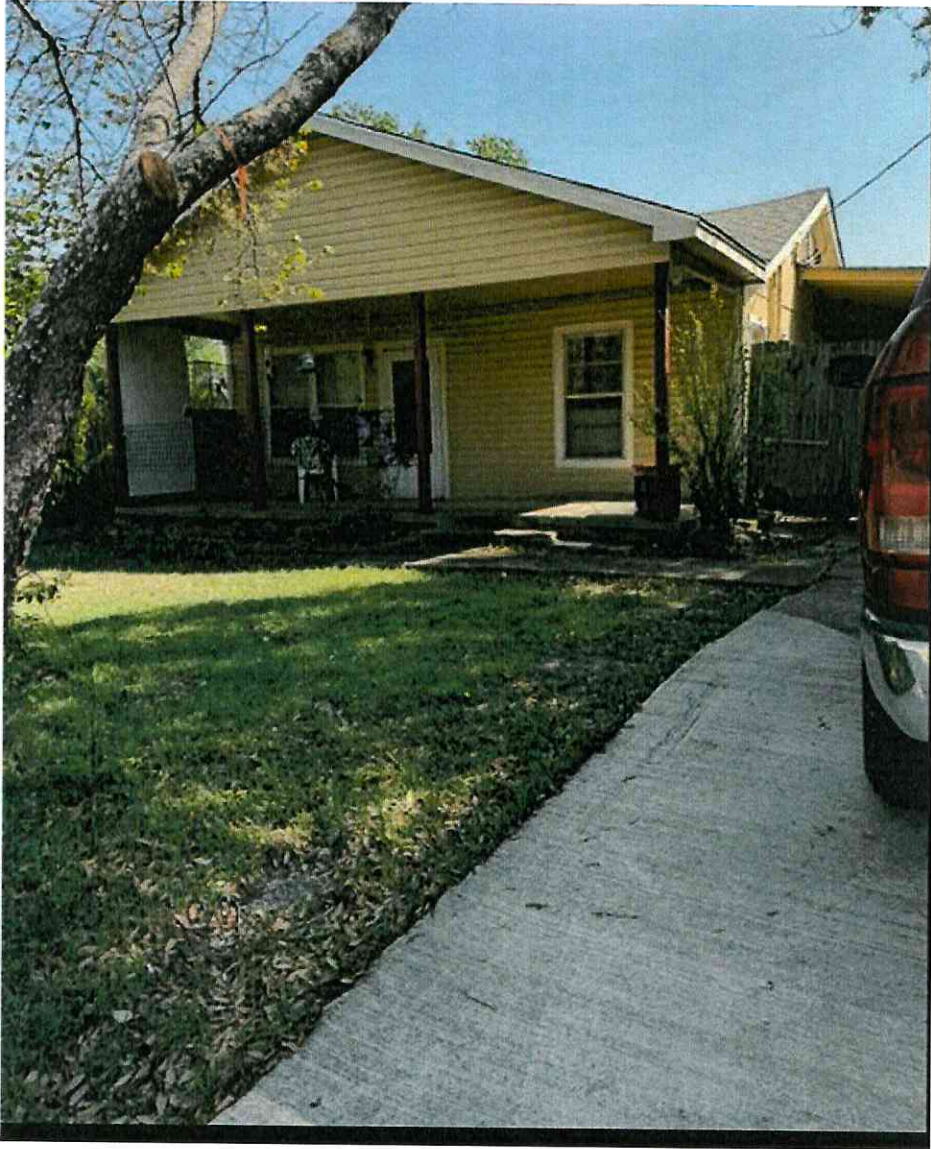
611 E. Boydston Ave.



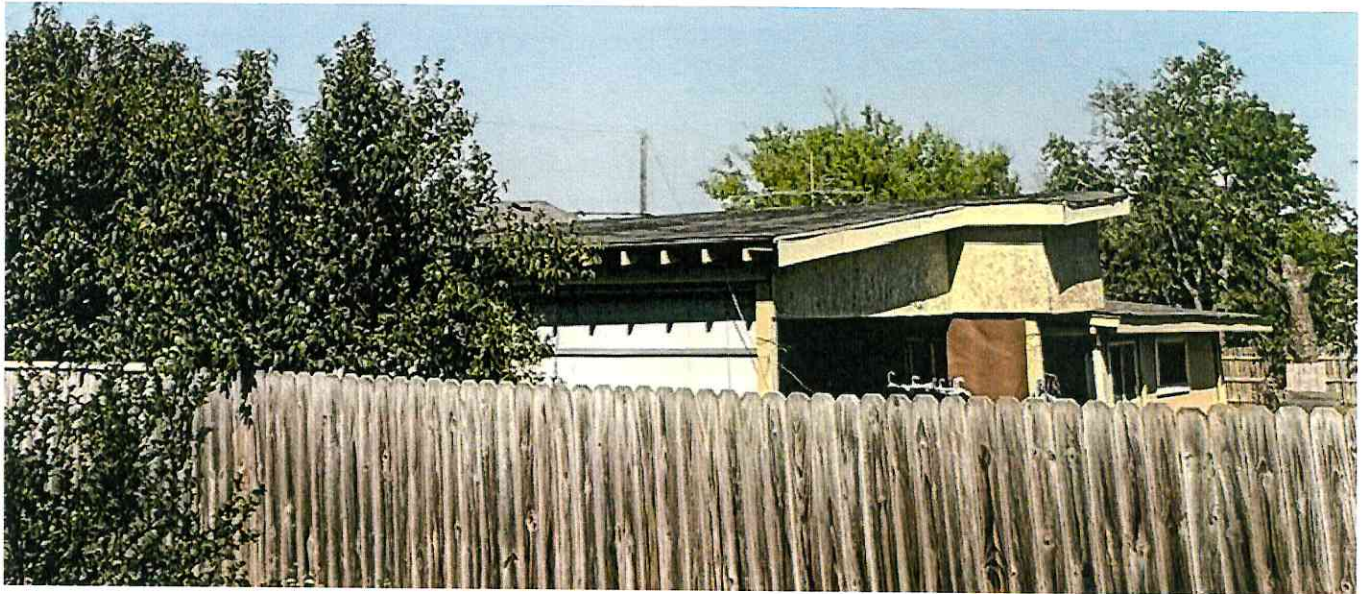
610 E. Boydston Ave.



Please keep in mind that all these homes are directly across the street from Mr. Gamez' (the applicant's) existing home. At present time, I don't believe that Mr. Gamez' current home would meet the criteria if it were built today. Please see the photos of Mr. Gamez' home as it sits today.







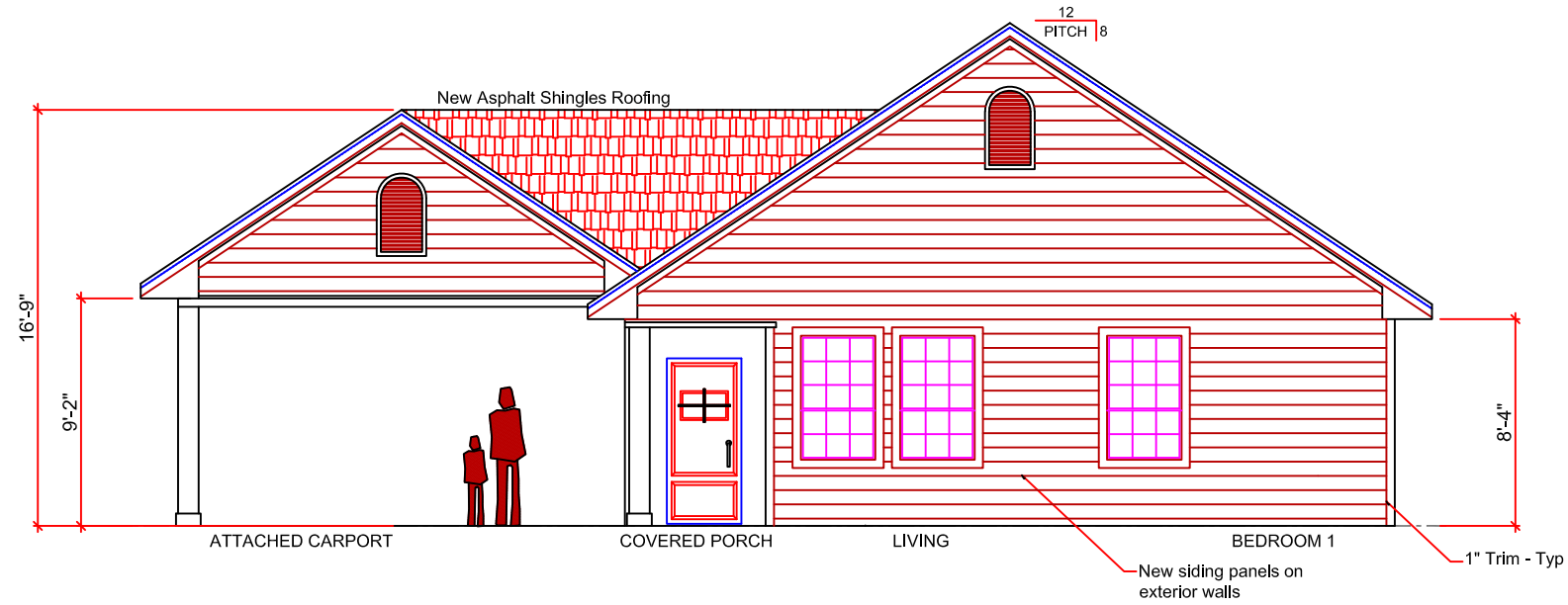
As is visible, Mr. Gamez' additions to his current home could never have went through the permitting procees. I don't believe that his home at present is in compliance with City of Rockwall building standards. Mr. Gamez has a wooden fence in front in order to store outside materials etc. at his home and doesn't use his carport as a carport. In fact, his current carport is blocked by a permanant fence and his driveway is gravel, again not something that would be permitted today. The fence is dilapidated and in part is missing the planks. Mr. Gamez now would like to replat his current lot into two lots and improve it with a 1,300 +/- square foot home, with no brick/stone, a pull through carport, and no garage. I fear that if the replat is approved and that the proposed home, as designed would look like Mr. Gamez' current home.

Please know that my neighbors and myself appreciate the way that the City of Rockwall has gone through the process with some of the residential infill in Old Town and The Southside. The newly approved properties are minimum 1,800 square feet and have garages at the very least. Gentrification of this area is happening and it can happen the correct way as long as we adhere to the standards that have been previously approved and is evidenced by the photos of my home and my neighbor's homes. This in turn adds to the property values of Mr. Gamez's home and the surrounding ones. I would like to see Mr. Gamez comply with previously approved building standards before a replat is granted. This way, ALL of the adjacent property owners can have input as to what will be built adjacent to our homes and on this beautiful street neighborhood street.

Please accept this letter as my formal opposition to Mr. Gamez' request.

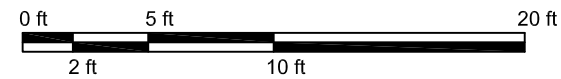
Sincerely,

J. Corky Randolph



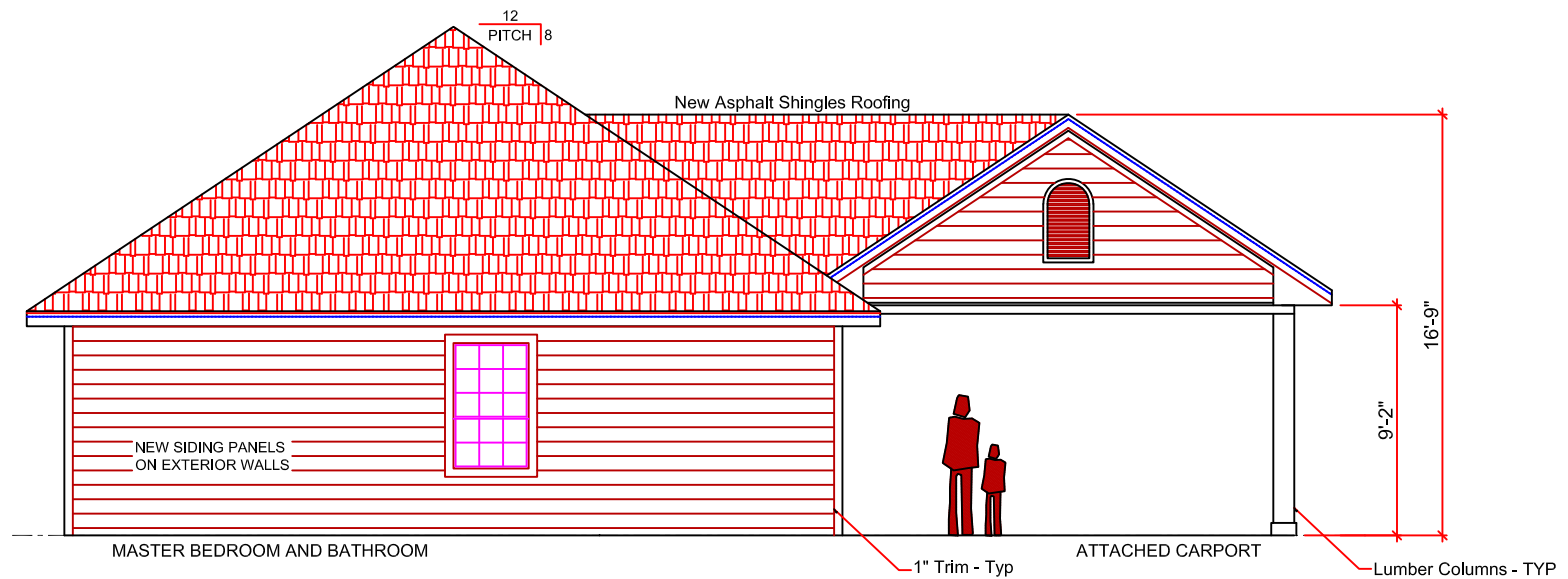
North (Front) Elevation

614 E BOYDSTUN AVE, ROCKWALL TX



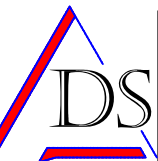
Graphic Scale

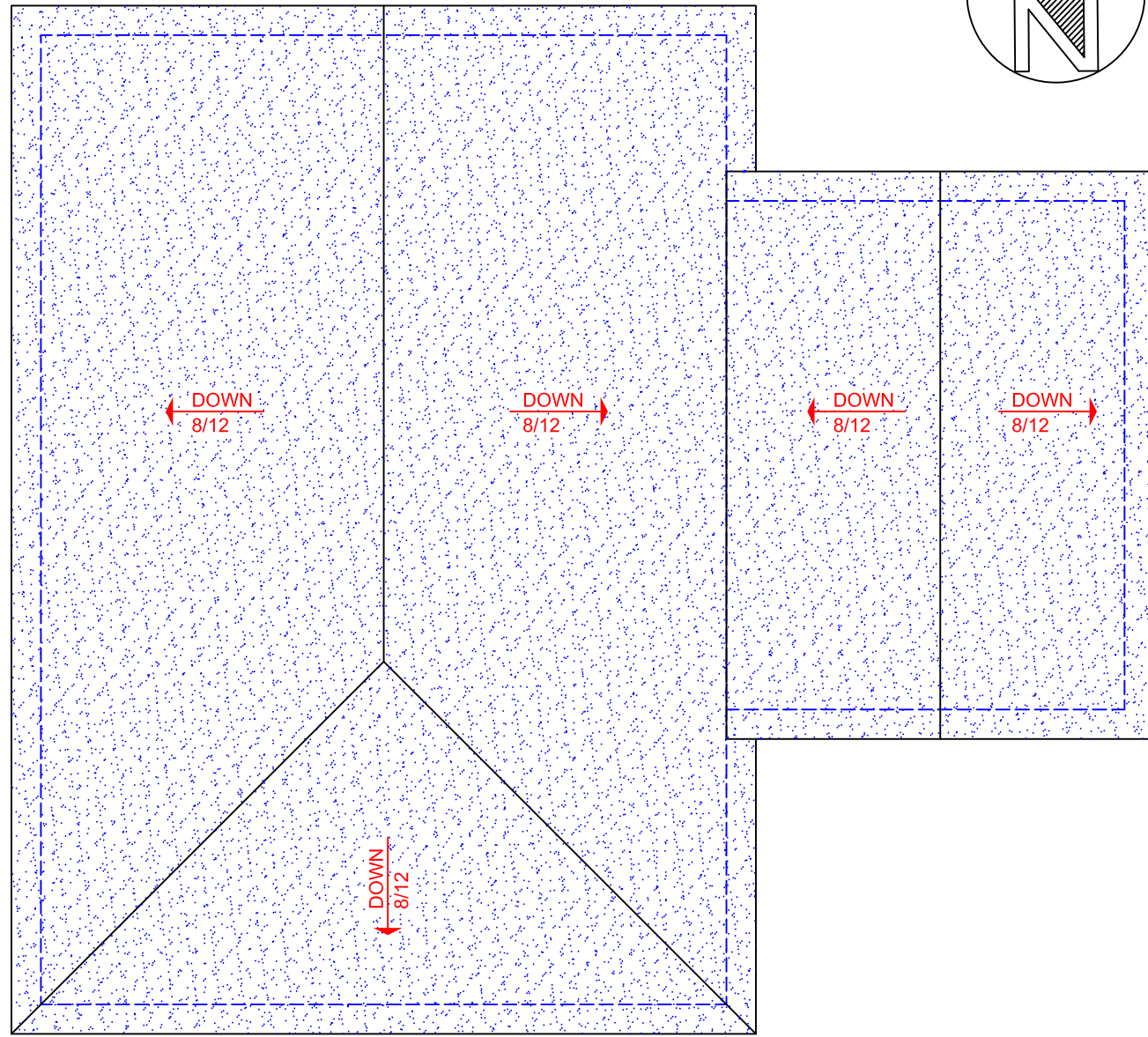
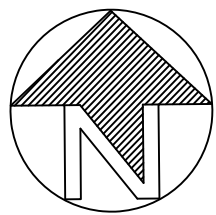
Scale Reference:
3/16" : 1'-0"



South (Back) Elevation

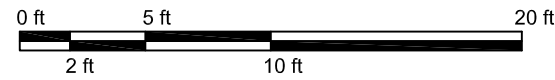
614 E BOYDSTUN AVE, ROCKWALL TX



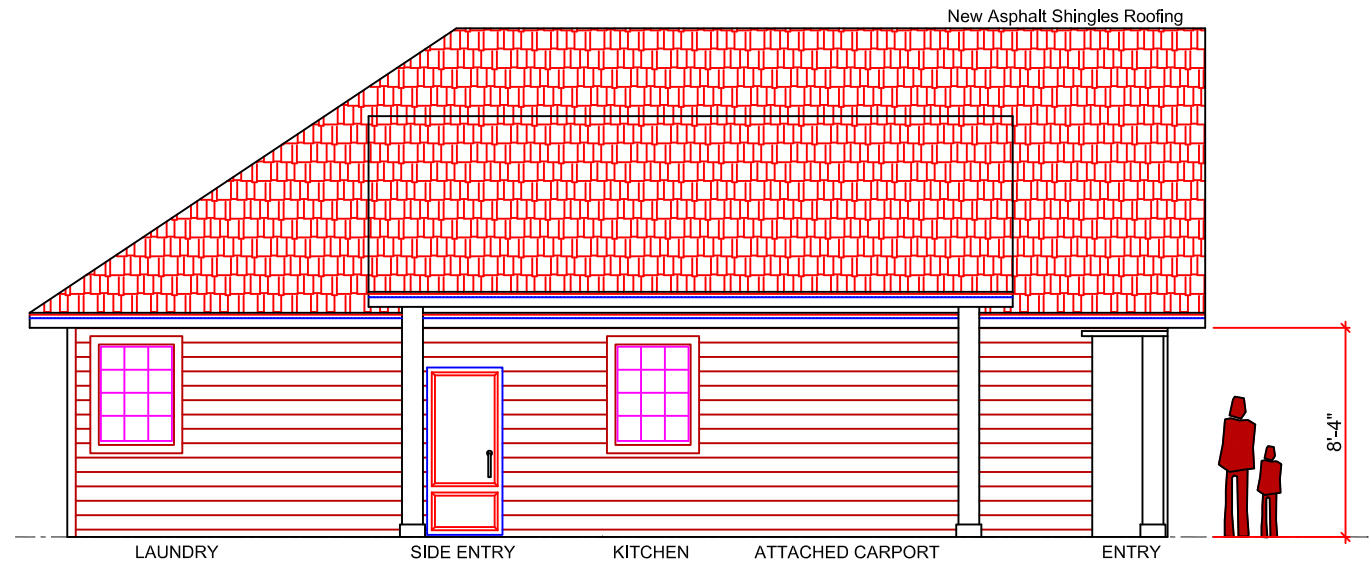


ROOF PLAN - New Frame

614 E BOYDSTUN AVE, ROCKWALL TX

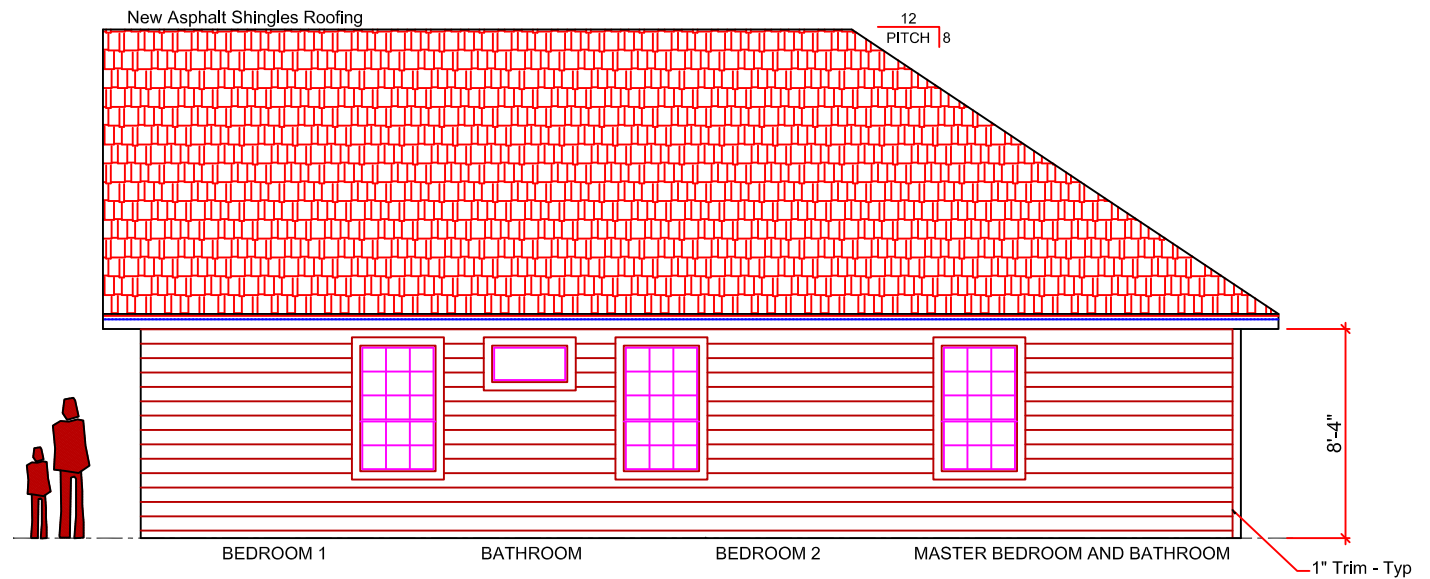


Graphic Scale



East (Left) Elevation

614 E BOYDSTUN AVE, ROCKWALL TX



West (Right) Elevation

614 E BOYDSTUN AVE, ROCKWALL TX

Drafting Solutions - Allen, TX (972) 697-6258

DISCLAIMER: These plans are intended to provide basic construction information in site work, concrete, framing, electrical or mechanical trades necessary to complete the structure. These plans must be verified by the builder or the person in authority for the job. Any discrepancy, error or omission, if found, is to be brought to the attention of the drafter before any construction work or purchase is made. All structural elements, such as piers and footings, retaining and shear walls, floor and roof beams, trusses, rafters, floor and ceiling joists, columns, footings and concrete floors must be sized and designed by a registered engineer. Drafting Solutions will not be responsible for these designs and or approvals. The limit for drafter's liability will not exceed the fee paid for plans.



New Single Family
614 E Boydston Ave
Rockwall, TX 75087

Owners:
The Gamez family

DRAFTING:
JHR

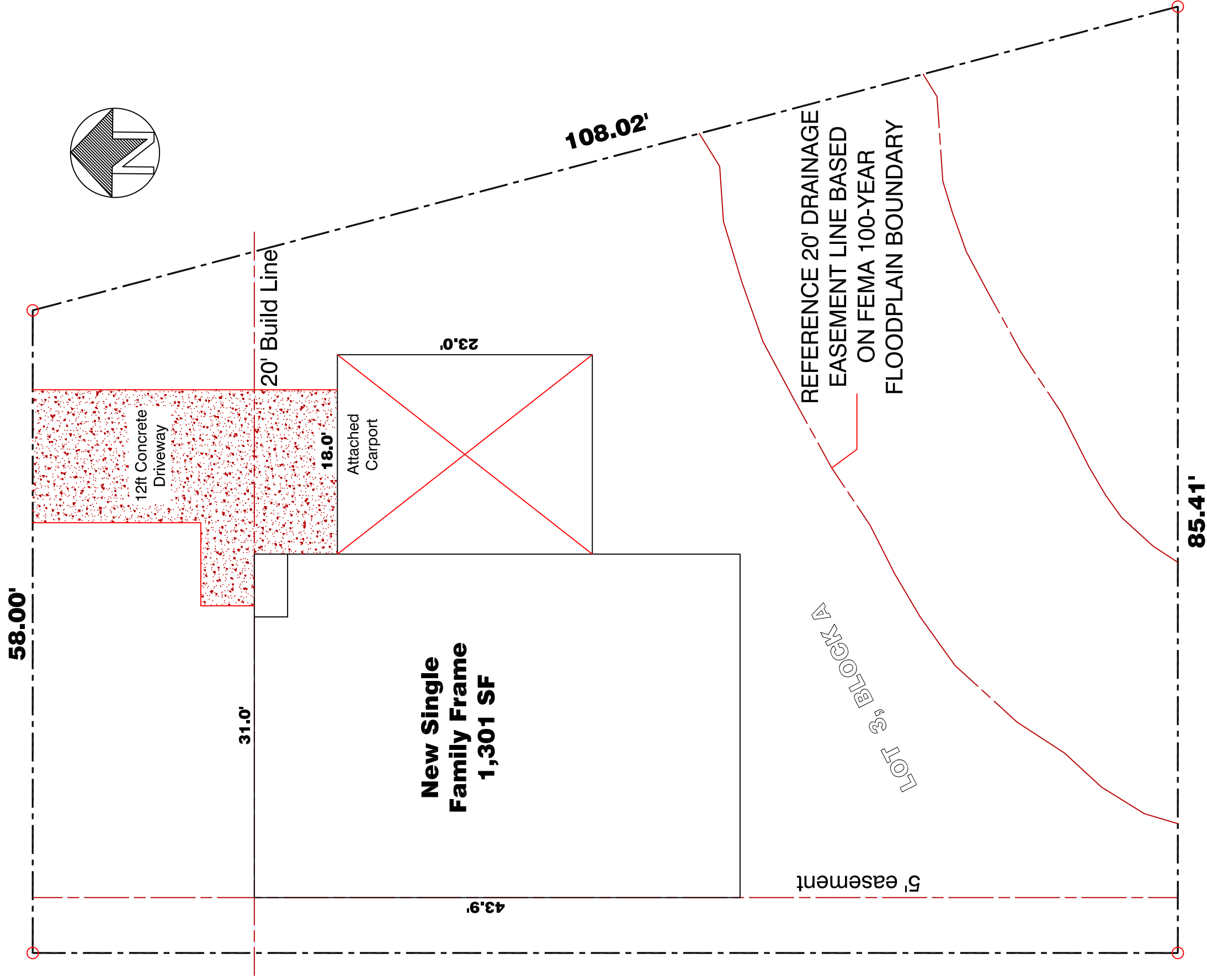
DATE:
3-10-2025

PLAN NUMBER:

Plan

A0.4

BOYDSTUN AVENUE
(Measured 50' R.O.W.)



SITE PLAN

614 E BOYDSTUN AVE, ROCKWALL TX



FOR PLANS REVIEW

Plan
A0.1

DRAFTING:
JHR
DATE:
3-10-2025
PLAN NUMBER:

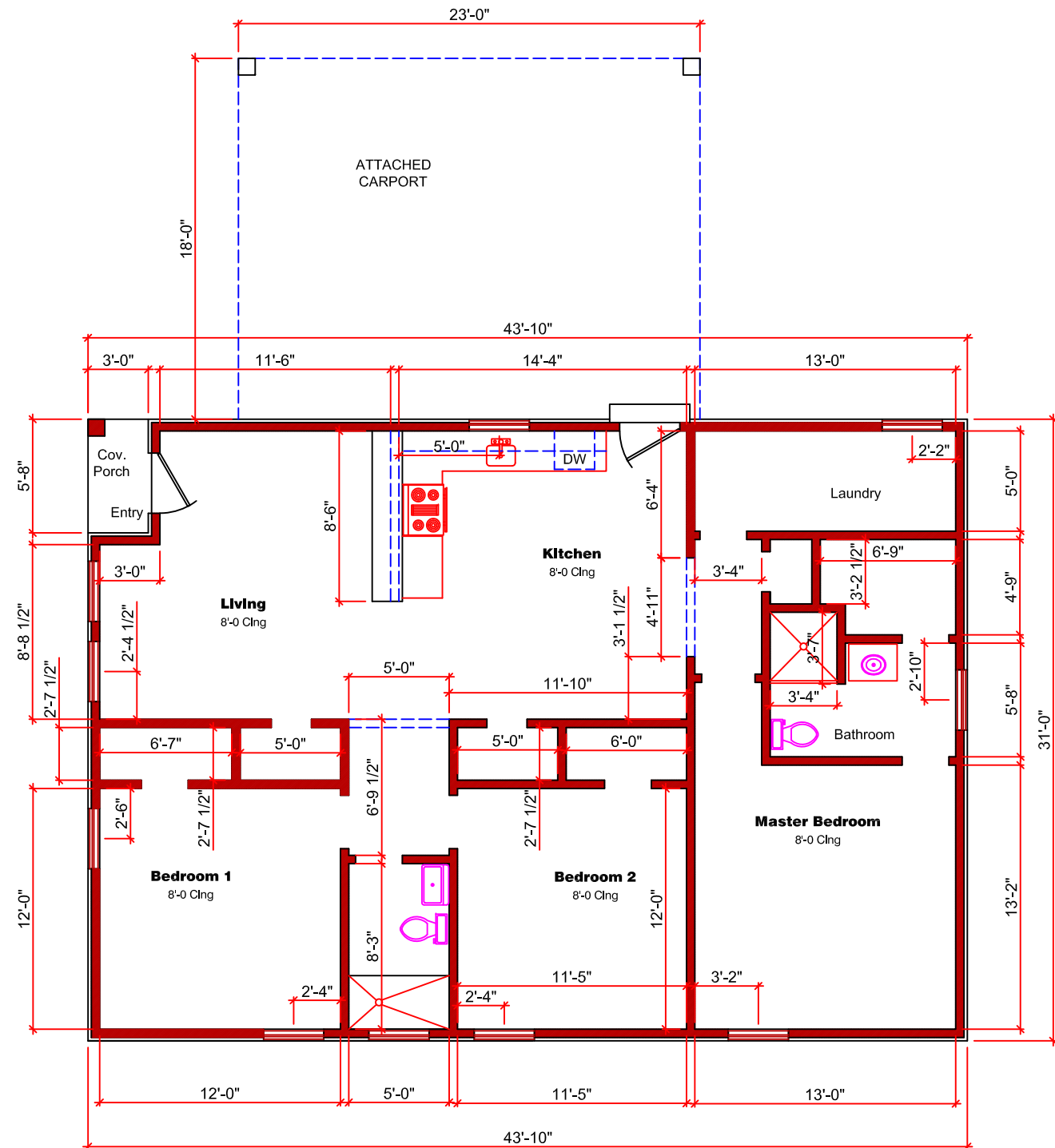
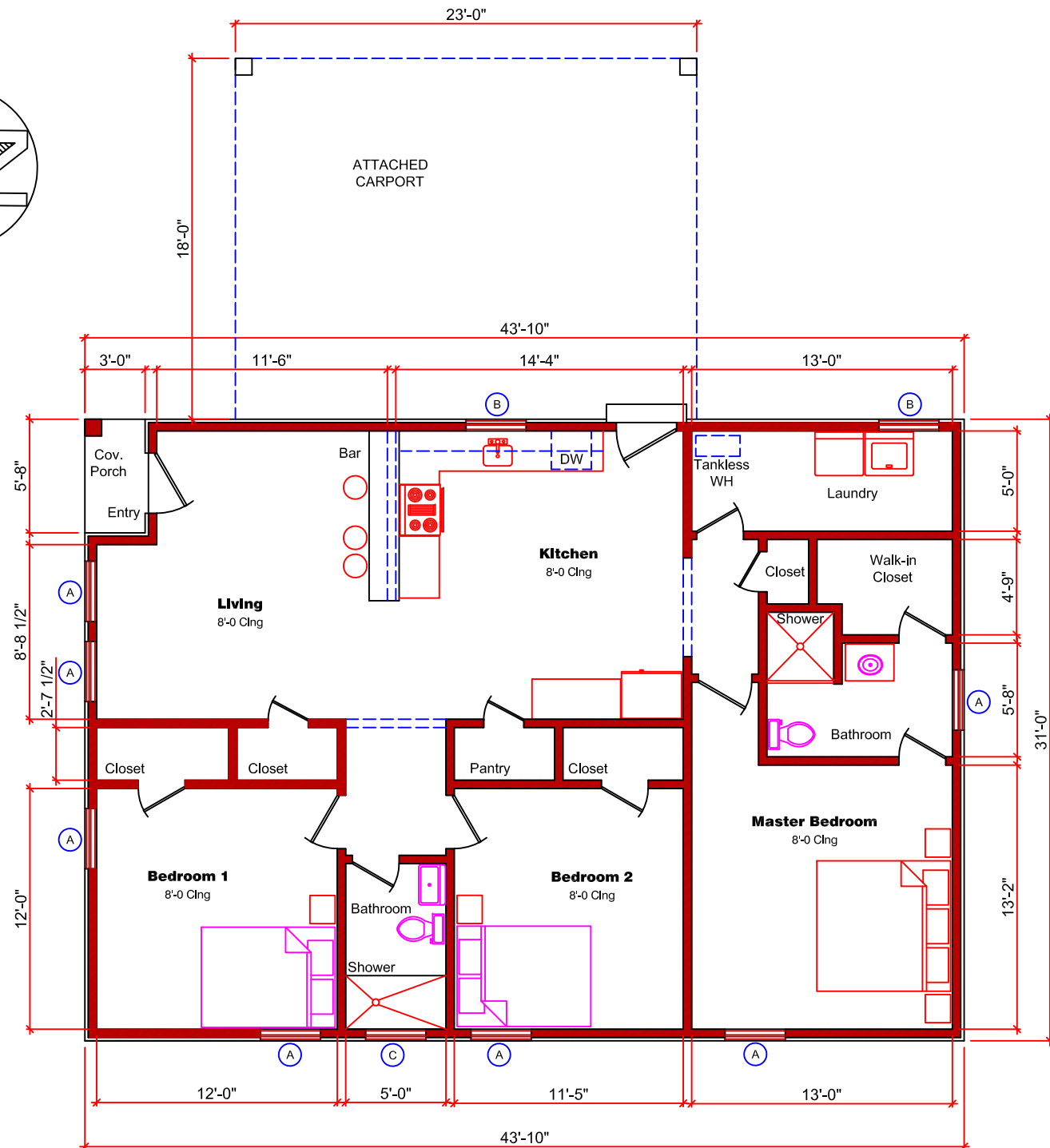
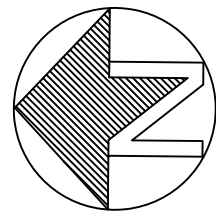
Owners:
The Gamez family

New Single Family
614 E Boydston Ave
Rockwall, TX 75087



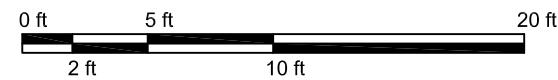
Drafting Solutions - Allen, TX (972) 697-6258

DISCLAIMER: These plans are intended to provide basic construction information in site work, concrete, framing, electrical or mechanical trades necessary to complete the structure. These plans must be verified by the builder or the person in authority for the job. Any discrepancy, error or omission, if found, is to be brought to the attention of the drafter before any construction, work or purchase is made. All structural elements, such as piers and footings, retaining and shear walls, floor and roof beams, trusses, rafters, floor and ceiling joists, columns, footings and concrete floors must be sized and designed by a registered engineer. Drafting Solutions will not be responsible for these designs and or approvals. The limit for drafter's liability will not exceed the fee paid for plans.



FLOOR PLAN - New Frame

614 E BOYDSTUN AVE, ROCKWALL TX



Graphic Scale

Scale Reference:
3/16" : 1'-0"

Window Schedule:

- A. 3050 - Single Hung, New window replacement
- B. 3040 - Single Hung, New window replacement
- C. 3014 - Blank panel, Bathroom

SQUARE FT. ADDITION

FIRST FLOOR (AC)	1,301 SF
ATTACHED CARPORT	414 SF

FLOOR PLAN - Dimensional

614 E BOYDSTUN AVE, ROCKWALL TX





CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-012

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
610 E. Boydston Street	Single-Family Home	2006	2,426	N/A	Brick and Stone
611 E. Boydston Street	Single-Family Home	2013	2,534	N/A	Brick and Stone
613 E. Boydston Street	Single-Family Home	2013	2,534	N/A	Brick
615 E. Boydston Street	Single-Family Home	2016	3,361	N/A	Brick, Stone, and Siding
618 E. Boydston Street	Vacant	N/A	N/A	N/A	N/A
619 E. Boydston Street	Single-Family Home	2017	1,814	N/A	Brick and Siding
702 S. Clark Street	Commercial	2000	4,920	N/A	Metal
706 S. Clark Street	Commercial	2000	19,586	N/A	Metal
703 Sherman Street	Single-Family Home	2007	1,780	N/A	Brick
704 Sherman Street	Single-Family Home	1980	980	N/A	Siding
705 Sherman Street	Single-Family Home	1994	1,350	117	Brick and Siding
706 Sherman Street	Single-Family Home	2020	2,538	N/A	Siding
AVERAGES:		2006	3,984	117	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-012

PLANNING AND ZONING DEPARTMENT

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610 E. Boydston Street



611 E. Boydston Street



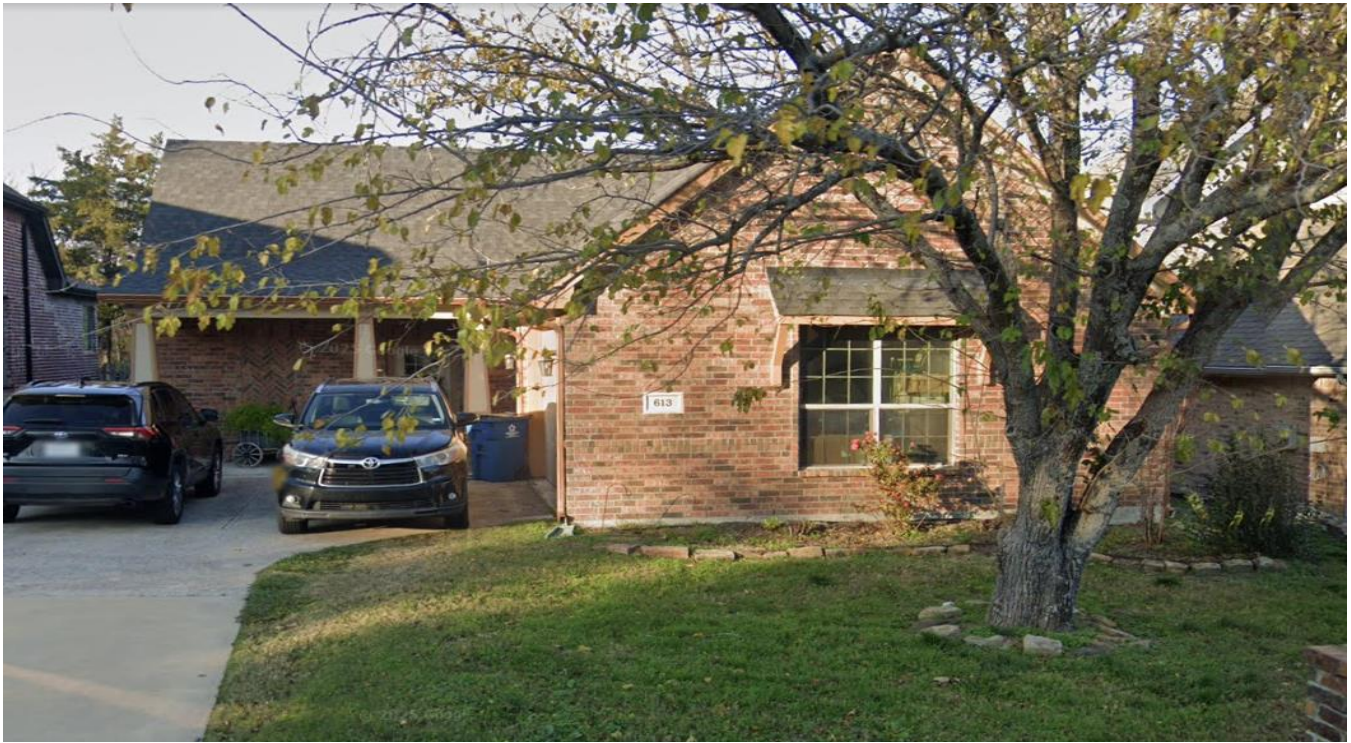
CITY OF ROCKWALL

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613 E. Boydston Street



615 E. Boydston Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-012

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618 E. Boydston Street



619 E. Boydston Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-012

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



702 S. Clark Street



706 S. Clark Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-012

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



703 Sherman Street



704 Sherman Street



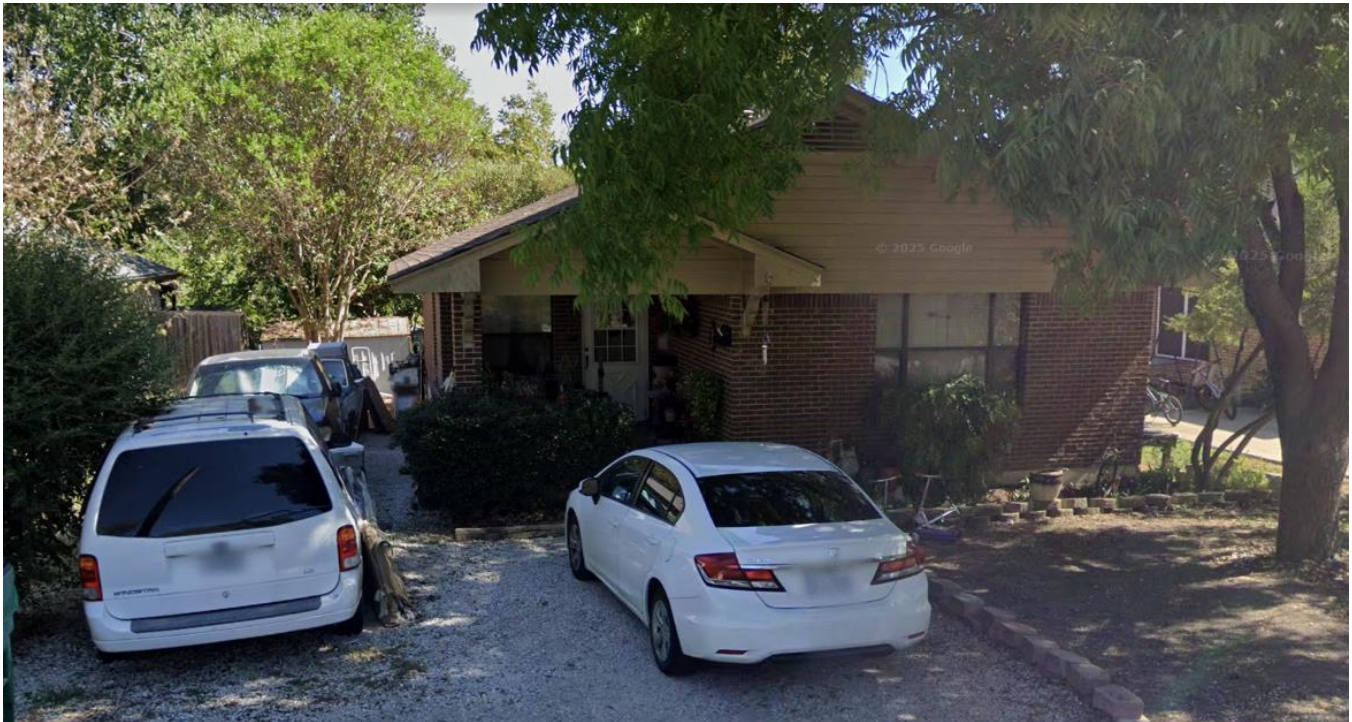
CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-012

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



705 Sherman Street



706 Sherman Street

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.17-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 3, BLOCK A, GAMEZ ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by David Gamez for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.17-acre parcel of land identified as Lot 3, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 614 Boydston Avenue, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*, and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and

with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5th DAY OF MAY, 2025.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: April 21, 2025

2nd Reading: May 5, 2025

Exhibit 'A':
Location Map

Address: 614 Boydston Avenue

Legal Description: Lot 3, Block A, Gamez Addition



Exhibit 'B':
Residential Plot Plan

BOYDSTUN AVENUE
(Measured 50' R.O.W.)

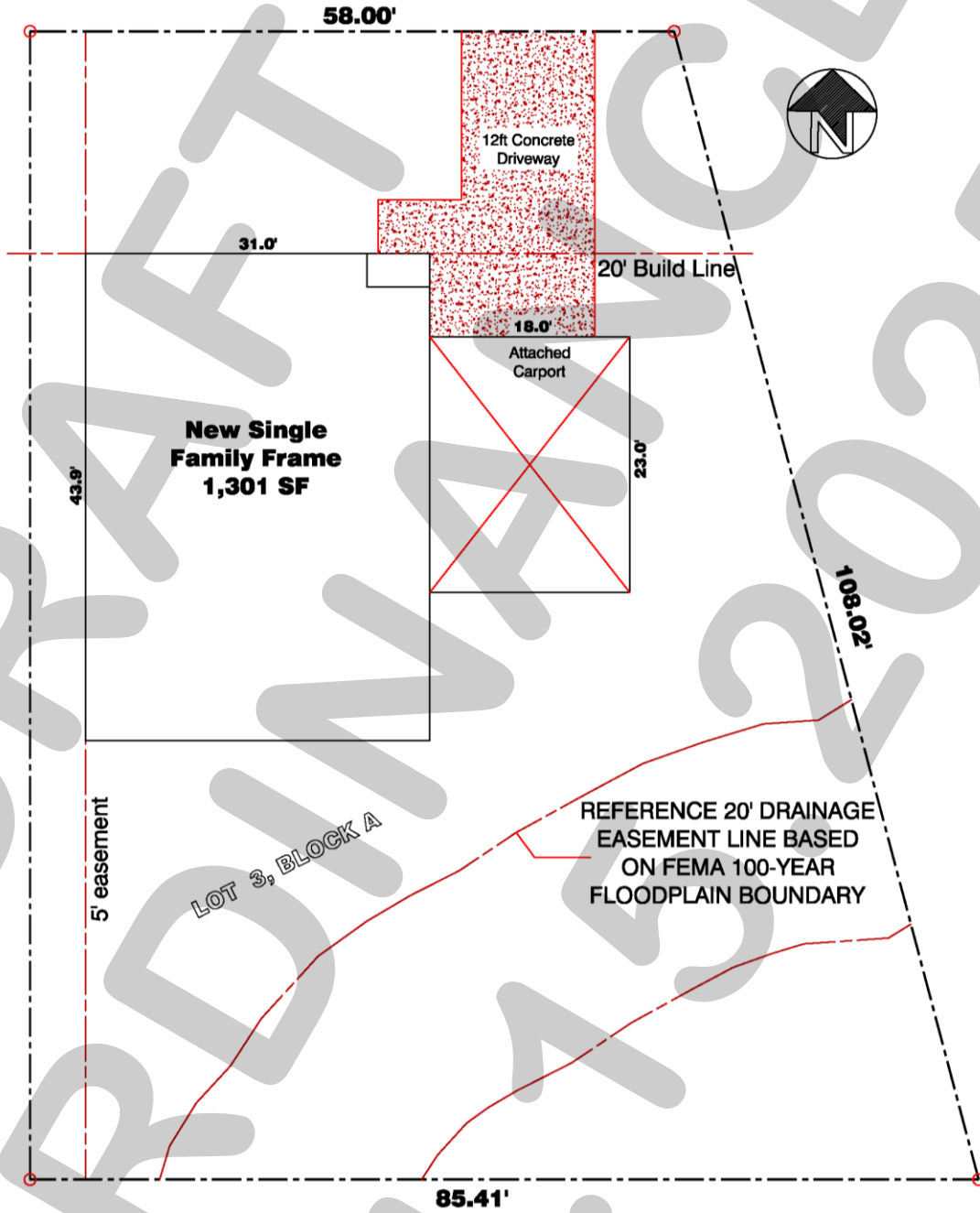
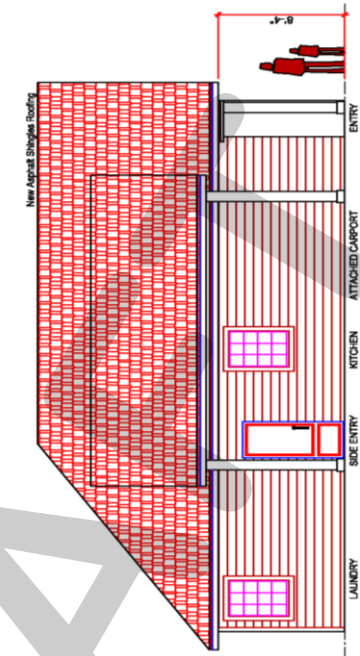
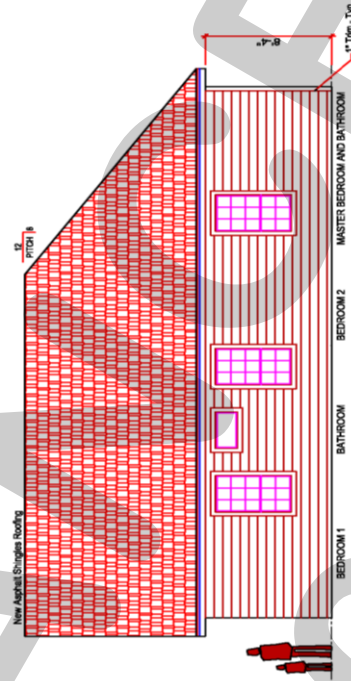


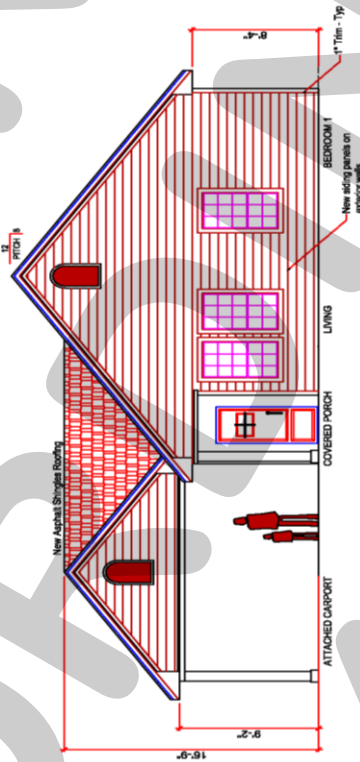
Exhibit 'C':
Building Elevations



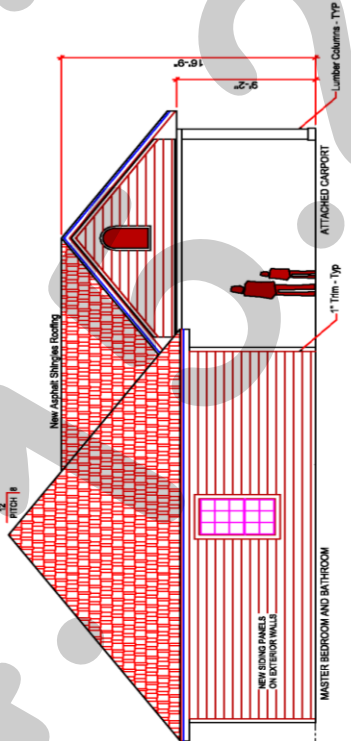
East (Left) Elevation
614 E BOYDSTUN AVE, ROCKWALL TX



West (Right) Elevation
614 E BOYDSTUN AVE, ROCKWALL TX



North (Front) Elevation
614 E BOYDSTUN AVE, ROCKWALL TX



South (Back) Elevation
614 E BOYDSTUN AVE, ROCKWALL TX



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 15, 2025
APPLICANT: Brandon Spruill; *on behalf of Hallie Fleming*
CASE NUMBER: Z2025-013; *Specific Use Permit (SUP) for a Residential Infill at 588 Cornelius Road*

SUMMARY

Hold a public hearing to discuss and consider a request by Brandon Spruill of Spruill Homes on behalf of Hallie Fleming for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a ten (10) acre tract of land identified Tract 22-02 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 588 Cornelius Road, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on December 2, 2019 by Ordinance No. 20-03 [*i.e. Case No. A2019-001*]. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to Rockwall Central Appraisal District (RCAD), currently situated on the subject property is a 2,700 SF metal pole barn that was constructed in 2012.

PURPOSE

The applicant -- *Brandon Spruill* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 588 Cornelius Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 19.00-acre tract land of land (*i.e. Tract 22-05 of the W. M. Dalton Survey, Abstract No. 72*) zoned Planned Development District 91 (PD-91) that makes up part of the Winding Creek Subdivision. Beyond that is Clem Road, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this is a vacant 101.43-acre tract of land (*i.e. Tract 4 of the J. M. Glass Survey, Abstract No. 88*) zoned Agricultural (AG) District.

South: Directly south of the subject property is Cornelius Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Peoples Tract Addition, which consists of eight (8) lots [*i.e. 291, 333, 375, 401, 451, 487, 525 & 555 Cornelius Road*] and is zoned Single-Family Estate 1.5 (SFE-1.5) District. South of this is Phase I of the Terraces Subdivision, which consists of 263 lots and is zoned Planned Development District 93 (PD-93).

East: Directly east of the subject property is part of the Lee Acres Addition, which consists of four (4) lots and is partially zoned Agricultural (AG) District. Beyond this is the boundary for the city limits of the City of Rockwall. East of this, there are multiple residential properties situated within the City's Extraterritorial Jurisdiction (ETJ).

West: Directly west of the subject property is a 4.00-acre tract of vacant land (*i.e. Tract 22-07 of the W.M. Dalton Survey, Abstract No. 72*). Beyond this is the Maytona Ranch Estates Subdivision, which was established on September 26, 1983, consists of 19 residential lots, and is 100% developed. All of these properties are zoned Agricultural (AG) District. West of this is the boundary for the city limits of the City of Rockwall. there are multiple residential properties situated within the City's Extraterritorial Jurisdiction (ETJ). Beyond this, there are multiple residential properties situated within the City's Extraterritorial Jurisdiction (ETJ).

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90.00% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is near the Maytona Ranch Estates Subdivision, which is 100% developed, consists of 19 residential lots, and has been in existence since September 26, 1983. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being adjacent to an established subdivision, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing along Cornelius Road compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing along Cornelius Road	Proposed Housing
Building Height	One (1) and Two (2) Story	One (1) Story
Building Orientation	All homes face onto the street they front on.	The front elevation of the home will face onto Cornelius Road.
Year Built	1880- 2018	N/A
Building SF on Property	2450 SF – 4,507 SF	4,862 SF
Building Architecture	Single Family Homes, Two (2) Barns, and Multiple Vacant Lots	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	40-Feet	X>40-Feet
Side	6- feet	X>6-Feet
Rear	10-Feet	X>10-Feet
Building Materials	Brick, Siding and Metal	Wood, Stone, and Stucco
Paint and Color	Gray, Red & White	N/A
Roofs	Metal Roofs	Tile and TPO Roof
Driveways/Garages	Driveways all front the same street the single-family home faces. Homes consist of detached garages or no garages.	The proposed garage will be a front entry garage and will face onto Cornelius Road.

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for the Agricultural (AG) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along Cornelius Road and also provided the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On March 18, 2025, staff mailed 82 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowners Associations (HOAs) within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back regarding the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance.
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 588 Cornelius Rd

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION North Stodghill Rd & Cornelius Rd

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING Agriculture

CURRENT USE Agriculture

PROPOSED ZONING Residential

PROPOSED USE Residential Home

ACREAGE 10

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER HALLIE FLEMING

APPLICANT SPRUILL HOMES

CONTACT PERSON

CONTACT PERSON BRANDON SPRUILL

ADDRESS 508 N ALAMO RD
ROCKWALL, TX

ADDRESS 1205 VALLEY TRAIL

CITY, STATE & ZIP 75087

CITY, STATE & ZIP HEATH, TX 75032

PHONE 214 763 1123

PHONE 214 226 7796

E-MAIL HALLIE.BROCKWALL@VIATDO.COM

E-MAIL BRANDON@SPRUILLHOMES.COM

NOTARY VERIFICATION (REQUIRED)

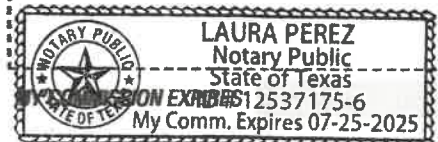
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Hallie Fleming [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF March, 2025.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2025-013: Specific Use Permit (SUP) for Residential Infill at 588 Cornelius Road

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

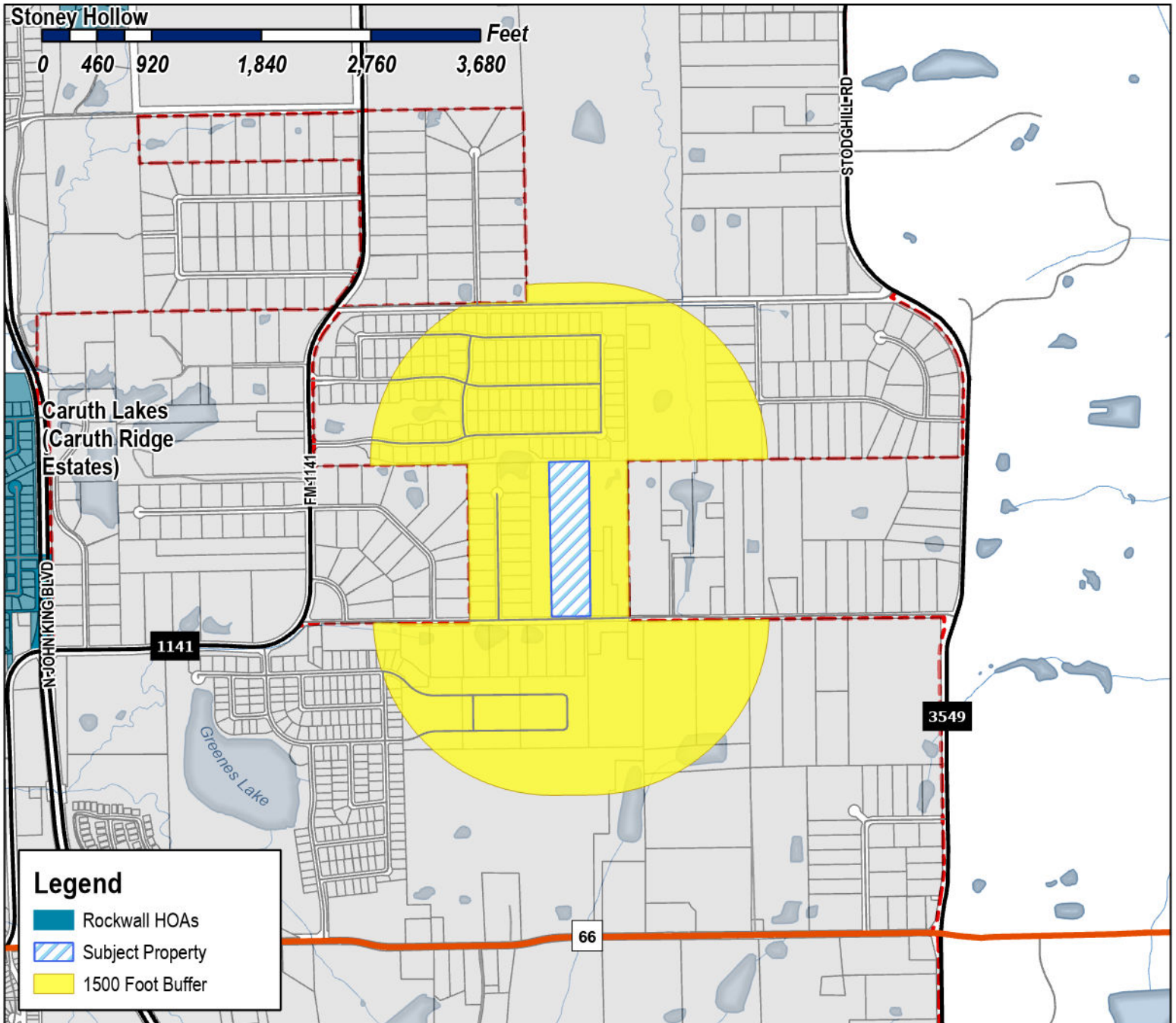




City of Rockwall

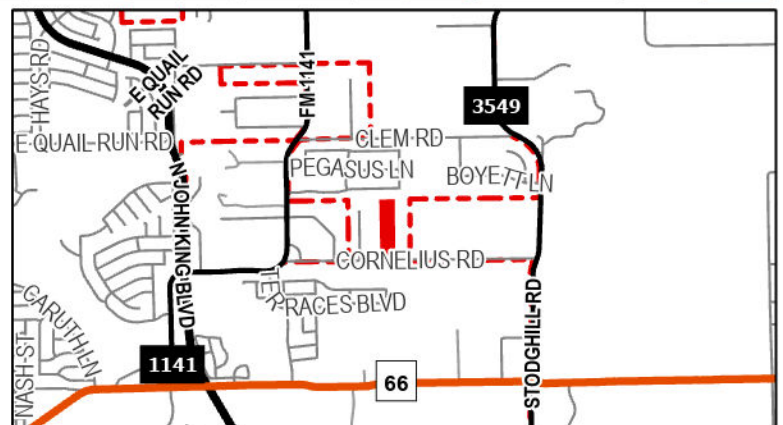
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2025-013
Case Name: Specific Use Permit (SUP) for Residential Infill
Case Type: Zoning
Zoning: Agricultural (AG) District
 588 Cornelius Road
Case Address:

Date Saved: 3/14/2025
 For Questions on this Case Call (972) 771-7745

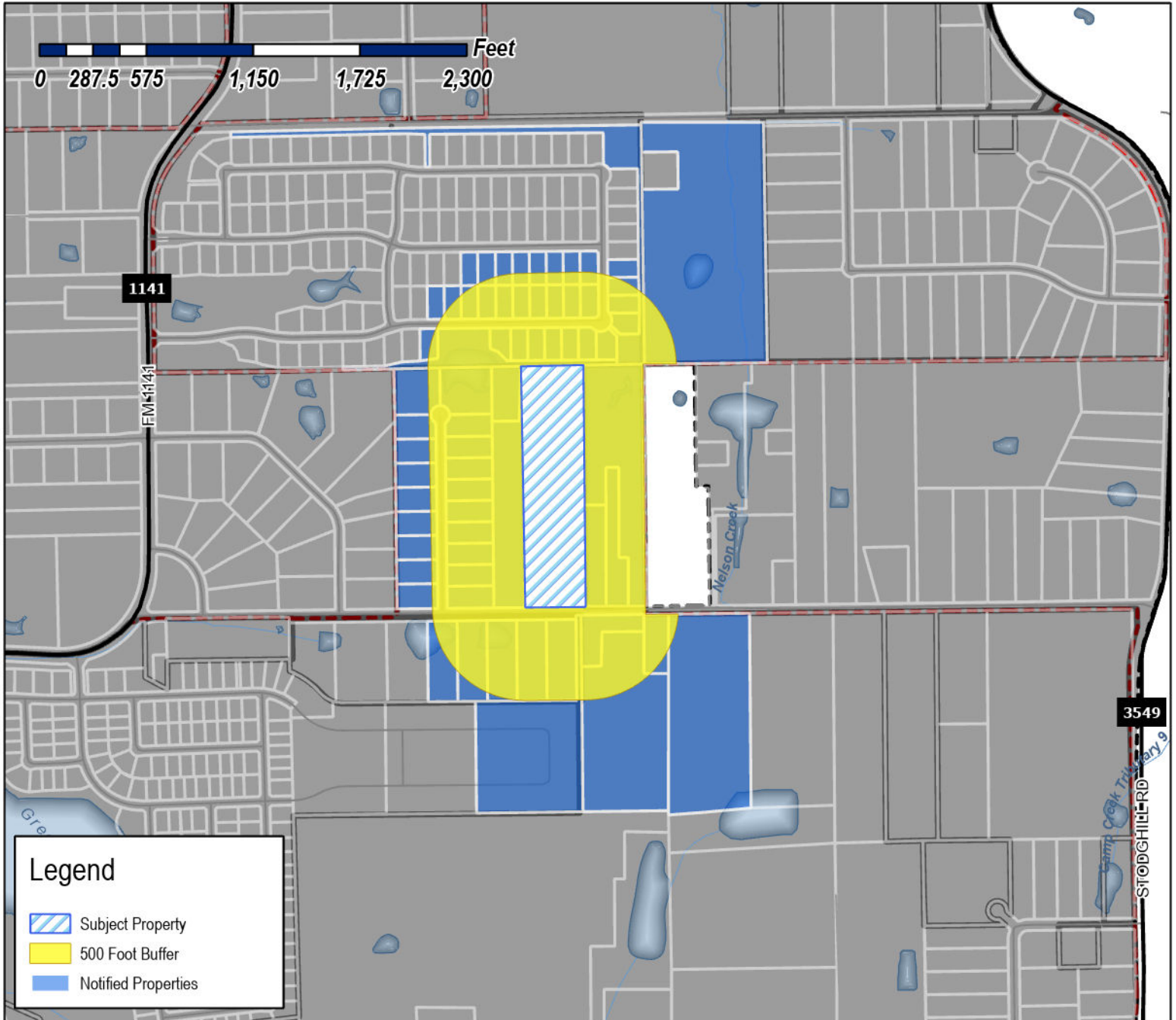




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2025-013
Case Name: Specific Use Permit (SUP) for Residential Infill
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 588 Cornelius Road

Date Saved: 3/14/2025

For Questions on this Case Call: (972) 771-7745



WINDING CREEK ROCKWALL HOMEOWNERS
ASSOCIATION
1024 S GREENVILLE AVE STE 230
ALLEN, TX 75002

THOMAS STEPHEN R & SHARON C
1200 MARILYN JAYNE DR
ROCKWALL, TX 75087

RANDY AND KAY WILSON REVOCABLE TRUST
RANDY SCOTT WILSON AND KAY MARIE
WILSON- CO TRUSTEES
1201 MARILYN JAYNE
ROCKWALL, TX 75087

JAMES BRIAN & KIMBERLY
1202 MARILYN JAYNE DR
ROCKWALL, TX 75087

SMITH DANIEL T
1203 MARILYN JAYNE DR
ROCKWALL, TX 75087

WALKER GRACIE & LEON
1204 MARILYN JAYNE DR
ROCKWALL, TX 75087

JAMES DAVID L
1205 MARILYN JAYNE DRIVE
ROCKWALL, TX 75087

COOK ROBERT M ETUX
1206 MARILYN JAYNE DR
ROCKWALL, TX 75087

CANTRELL CARL DEAN
1207 MARILYN JAYNE DR
ROCKWALL, TX 75087

RODRIGUEZ CONRADO JR
1208 MARILYN JAYNE DR
ROCKWALL, TX 75087

BARTON FORRIS WOODROW JR & DIXIE D
1209 MARILYN JAYNE DR
ROCKWALL, TX 75087

EMRA JOHN AND SHERYL AND
PAUL AND KATIE EMRA
1210 MARILYN JAYNE LANE
ROCKWALL, TX 75087

RYLANDER GREGORY L & PAMELA J
1211 MARILYN JAYNE
ROCKWALL, TX 75087

CONFIDENTIAL
1212 MAYILYN JAYNE LN
ROCKWALL, TX 75087

CONFIDENTIAL
1213 MARILYN JAYNE LN
ROCKWALL, TX 75087

RESIDENT
1214 MARILYN JAYNE LN
ROCKWALL, TX 75087

CONFIDENTIAL
1215 MARILYN JAYNE DRIVE
ROCKWALL, TX 75087

COUCH MITCHELL E AND PATRICIA M
1216 MARILYN JAYNE DR
ROCKWALL, TX 75087

KELLY JAMES B & DEA S
1217 MARILYN JAYNE DR
ROCKWALL, TX 75087

MENDOZA ROBERT E AND SANDRA J WILKINS
1218 MARILYN JAYNE DR
ROCKWALL, TX 75087

RESIDENT
1400 QUASAR DR
ROCKWALL, TX 75087

RESIDENT
1404 QUASAR DR
ROCKWALL, TX 75087

RESIDENT
1408 QUASAR DR
ROCKWALL, TX 75087

RESIDENT
1412 QUASAR DR
ROCKWALL, TX 75087

SINGH GAGANPREET K AND PAWANPREET
151 STEVENSON DR
FATE, TX 75087

RESIDENT
1518 QUASAR DR
ROCKWALL, TX 75087

MCCALLUM CRAIG WILLIAM
1983 N STODGHILL RD
ROCKWALL, TX 75087

RESIDENT
2207 PHOENIX LN
ROCKWALL, TX 75087

RESIDENT
2208 PHOENIX LN
ROCKWALL, TX 75087

RESIDENT
2212 PHOENIX LN
ROCKWALL, TX 75087

RESIDENT
2215 PHOENIX LN
ROCKWALL, TX 75087

RESIDENT
2216 PHOENIX LN
ROCKWALL, TX 75087

RESIDENT
2217 PEGASUS LN
ROCKWALL, TX 75087

RESIDENT
2220 PHOENIX LN
ROCKWALL, TX 75087

RESIDENT
2221 PEGASUS LN
ROCKWALL, TX 75087

FORMAN LINDSEY & TANNER
2221 PEGASUS LN
ROCKWALL, TX 75087

RESIDENT
2301 PHOENIX LN
ROCKWALL, TX 75087

RESIDENT
2302 PHOENIX LN
ROCKWALL, TX 75087

RESIDENT
2303 PEGASUS LN
ROCKWALL, TX 75087

RESIDENT
2305 PHOENIX LN
ROCKWALL, TX 75087

RESIDENT
2306 PHOENIX LN
ROCKWALL, TX 75087

RESIDENT
2307 PEGASUS LN
ROCKWALL, TX 75087

RESIDENT
2309 PHOENIX LN
ROCKWALL, TX 75087

RESIDENT
2310 PHOENIX LN
ROCKWALL, TX 75087

RESIDENT
2311 PEGASUS LN
ROCKWALL, TX 75087

RESIDENT
2313 PHOENIX LN
ROCKWALL, TX 75087

RESIDENT
2314 PHOENIX LN
ROCKWALL, TX 75087

RESIDENT
2315 PEGASUS LN
ROCKWALL, TX 75087

RESIDENT
2317 PHOENIX LN
ROCKWALL, TX 75087

RESIDENT
2318 PHOENIX LN
ROCKWALL, TX 75087

RESIDENT
2319 PEGASUS LN
ROCKWALL, TX 75087

RESIDENT
2321 PHOENIX LN
ROCKWALL, TX 75087

RESIDENT
2322 PHOENIX LN
ROCKWALL, TX 75087

RESIDENT
2323 PEGASUS LN
ROCKWALL, TX 75087

RESIDENT
2325 PHOENIX LN
ROCKWALL, TX 75087

SHADDOCK HOMES LTD
2400 Dallas Pkwy STE 560
Plano, TX 75093

LEE GREGORY P & LAUREN E
2908 PRESTON TRL
ROCKWALL, TX 75087

RESIDENT
401 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
451 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
487 CORNELIUS RD
ROCKWALL, TX 75087

FLEMING HALLIE B
508 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
520 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
525 CORNELIUS RD
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC
5310 Harvest Hill Rd Ste 162
Dallas, TX 75230

RESIDENT
555 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
588 CORNELIUS RD
ROCKWALL, TX 75087

PEOPLES DONNIE
589 CORNELIUS
ROCKWALL, TX 75087

PEOPLES DONNIE
589 CORNELIUS
ROCKWALL, TX 75087

PEOPLES DONNIE
589 CORNELIUS
ROCKWALL, TX 75087

RESIDENT
600 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
611 CLEM RD
ROCKWALL, TX 75087

RESIDENT
614 CORNELIUS RD
ROCKWALL, TX 75087

LEE JAMES H AND BARBARA
628 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
657 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
657 CORNELIUS RD
ROCKWALL, TX 75087

PEWITT RONNY M & JENNIFER L
668 CORNELIUS RD
ROCKWALL, TX 75087

PERKINS RALPH TRENT & AMY CAIN
701 Cornelius Rd
Rockwall, TX 75087

FALCON PLACE SF LTD
8214 Westchester Dr Ste 900
Dallas, TX 75225

RESIDENT
839 CORNELIUS RD
ROCKWALL, TX 75087

SOUTHALL MARK P & KATHY L
P. O. BOX 2214
ROCKWALL, TX 75087

ESTATE OF MICHAEL L PEOPLES SR
ANDREA DANLEY - INDEPENDENT EXECUTOR
PO Box 154
Fate, TX 75132

ESTATE OF MICHAEL L PEOPLES SR
PO Box 154
FATE, TX 75132

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-013: Specific Use Permit (SUP) for a Residential Infill

Hold a public hearing to discuss and consider a request by Brandon Spruill of Spruill Homes on behalf of Hallie Fleming for the approval of a *Specific Use Permit (SUP)* for Residential Infill in an Established Subdivision on a ten (10) acre tract of land identified Tract 22-02 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 588 Cornelius Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 15, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 21, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 21, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-013: Specific Use Permit (SUP) for a Residential Infill

Please place a check mark on the appropriate line below:

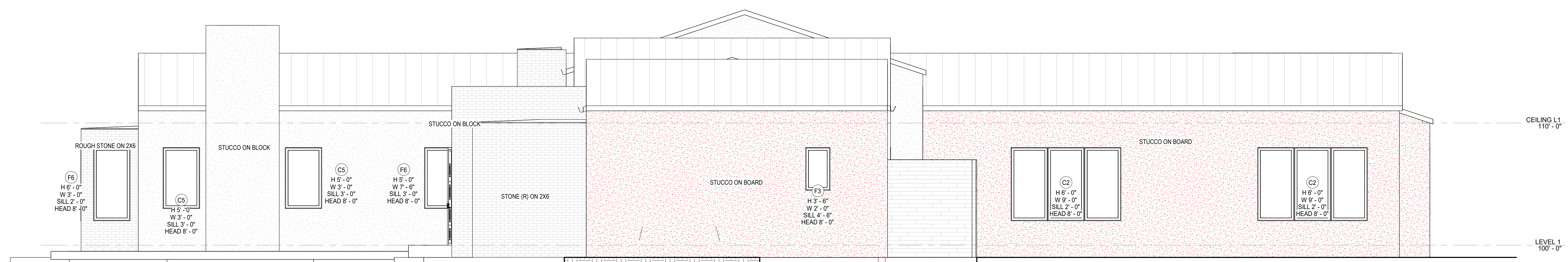
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

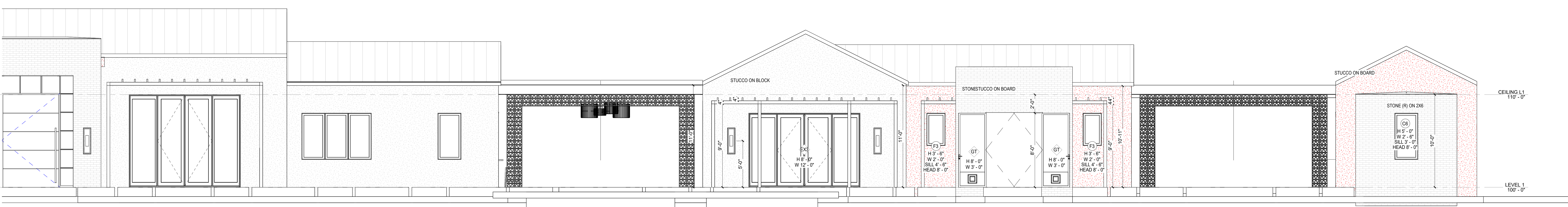
Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

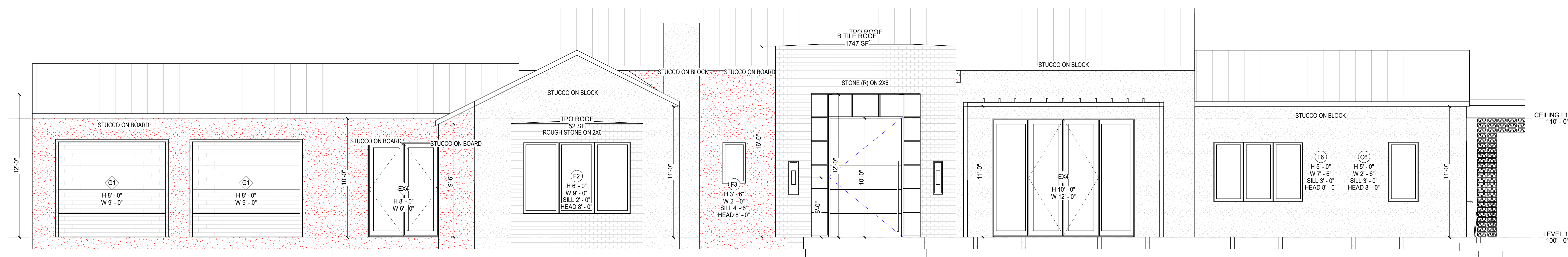
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



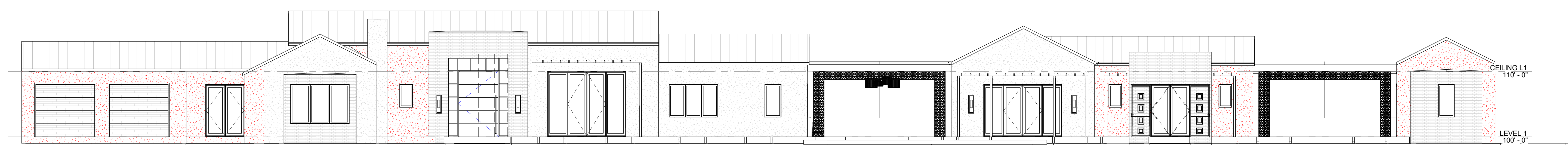
4 EAST ELEVATION
SCALE: 1/4" = 1'-0"



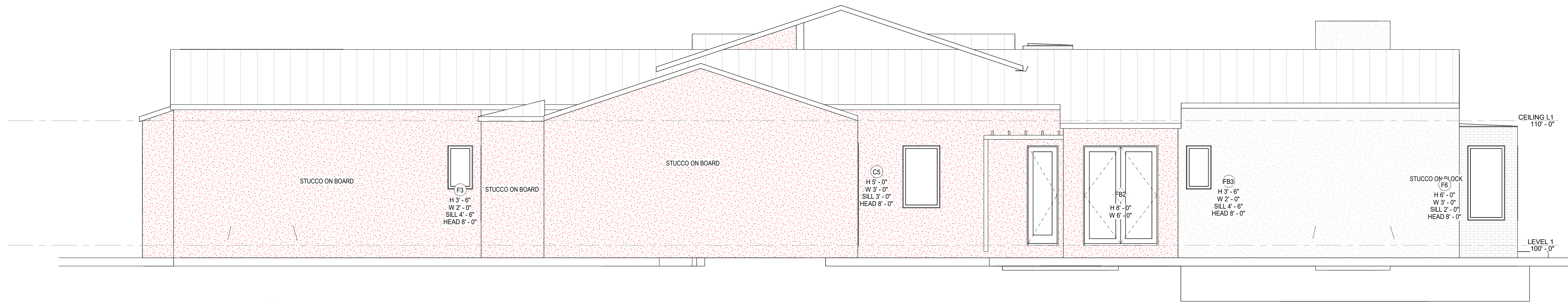
6 SOUTH ELEVATION 2
SCALE: 1/4" = 1'-0"



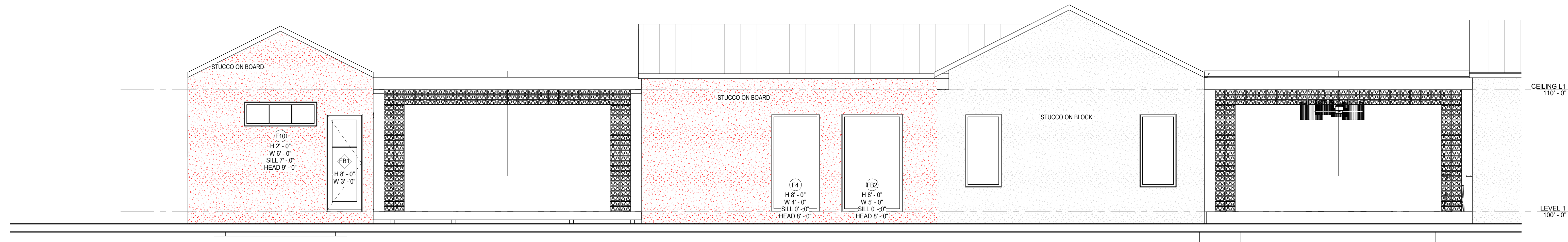
5 SOUTH ELEVATION 1
SCALE: 1/4" = 1'-0"



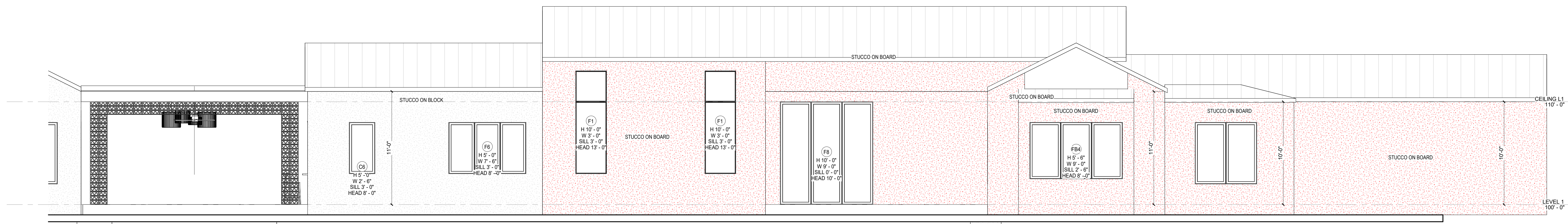
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



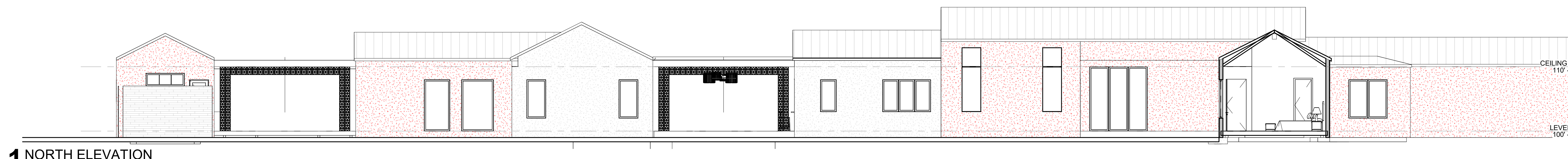
4 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION 2
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION 1
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

ISSUE FOR PERMIT | 04/04/2025
PROJECT ADDRESS | 588 CORNELIUS | ROCKWALL | TEXAS
OWNER | HALLIE DAVENPORT

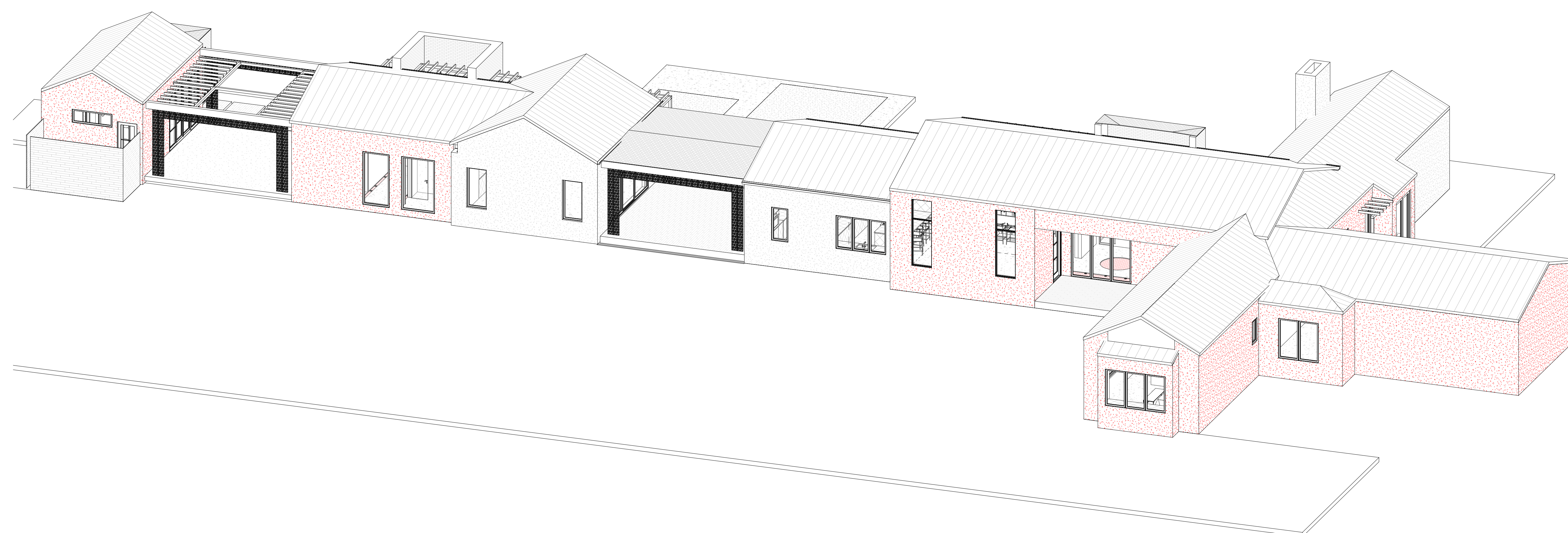
©2025 M·Gray Architecture
THESE DOCUMENTS HAVE BEEN
PREPARED SPECIFICALLY FOR
HALLIE DAVENPORT
THEY ARE NOT SUITABLE FOR USE ON
OTHER LOCATIONS WITHOUT THE
APPROVAL OF M·Gray A/E.

SCALE: As indicated

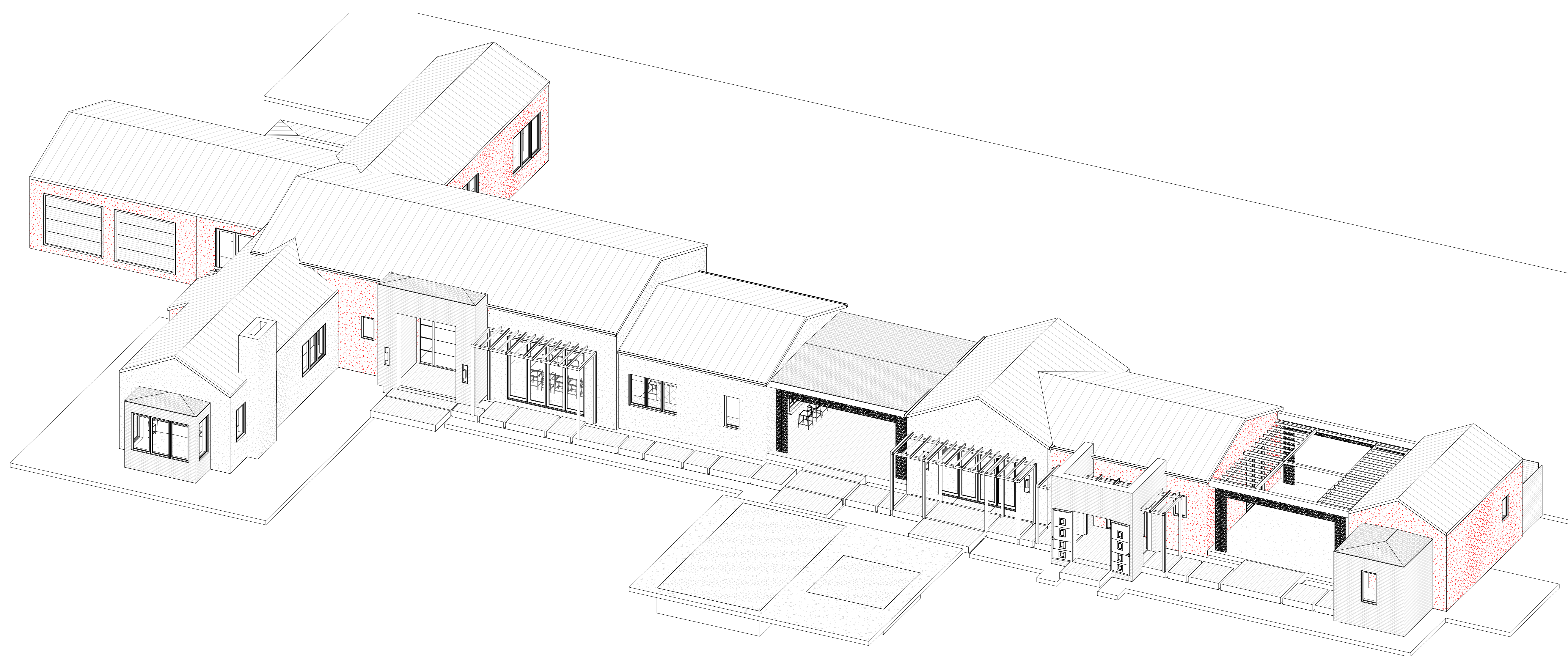
ELEVATIONS

A-502

SHEET SIZE: 30"x42" PRINTED FULL SIZE
4/4/2025 3:54:16 PM



2 ISO 2
SCALE

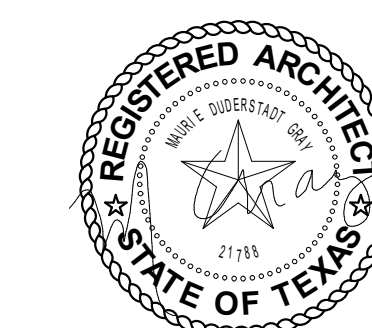


1 ISO 1
SCALE









04/04/2025

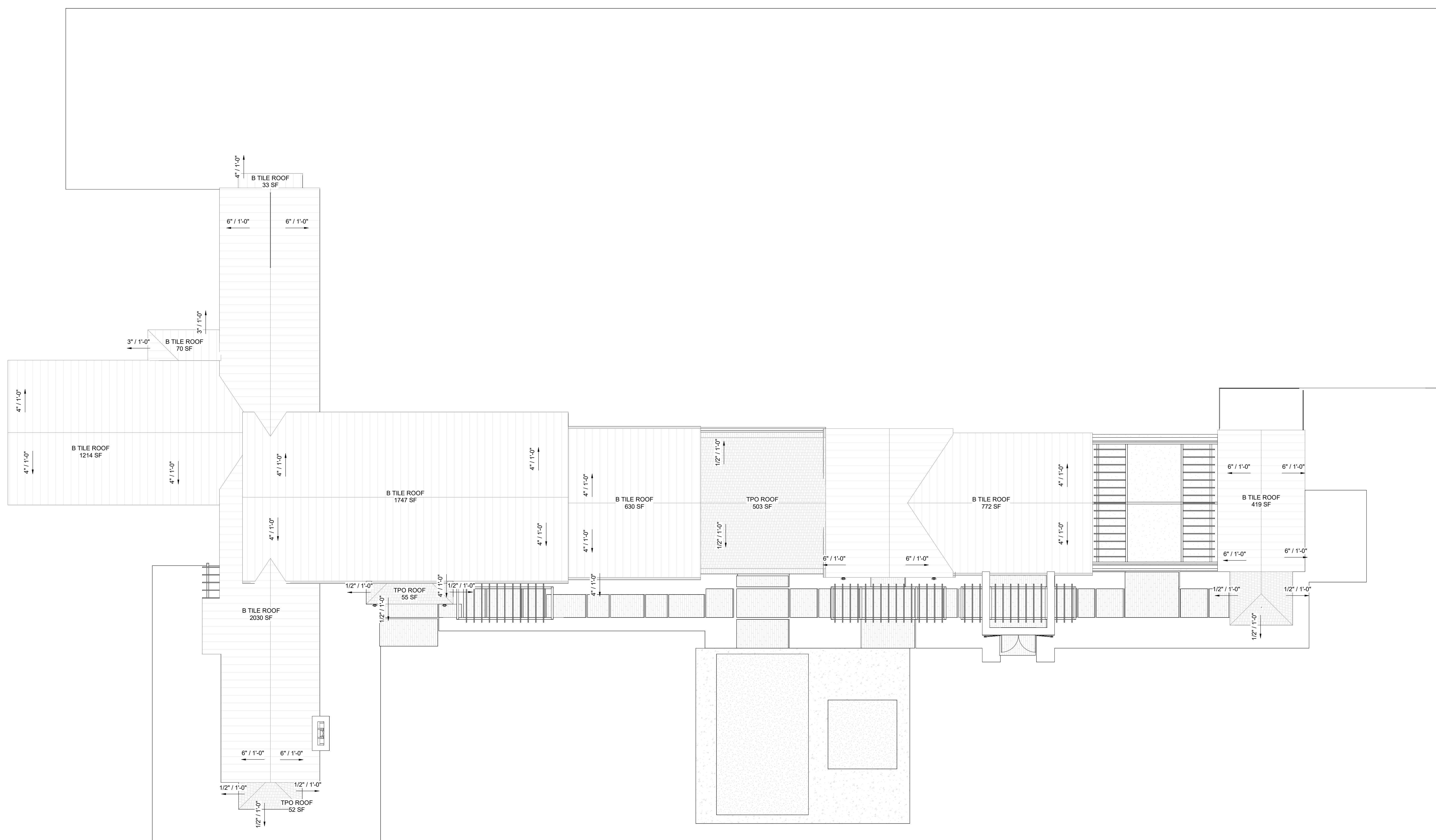
ARCHITECT OF RECORD
M:GRAY ARCHITECTURE
469-855-6275
mgray@mgay.com

INTERIOR DESIGNER

STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT

CONTRACTOR



1 ROOF
SCALE: 1/8" = 1'-0"

ISSUE FOR PERMIT | 04/04/2025

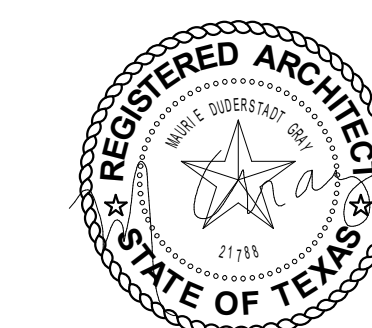
PROJECT ADDRESS | 588 CORNELIUS | ROCKWALL | TEXAS

OWNER | HILLE DANKERF

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HILLE DANKERF
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OTHER LOCATIONS WITHOUT THE
APPROVAL OF M:GRAY, P.C.

SCALE: 1/8" = 1'-0"

ROOF PLAN
A-310



04/24/2025

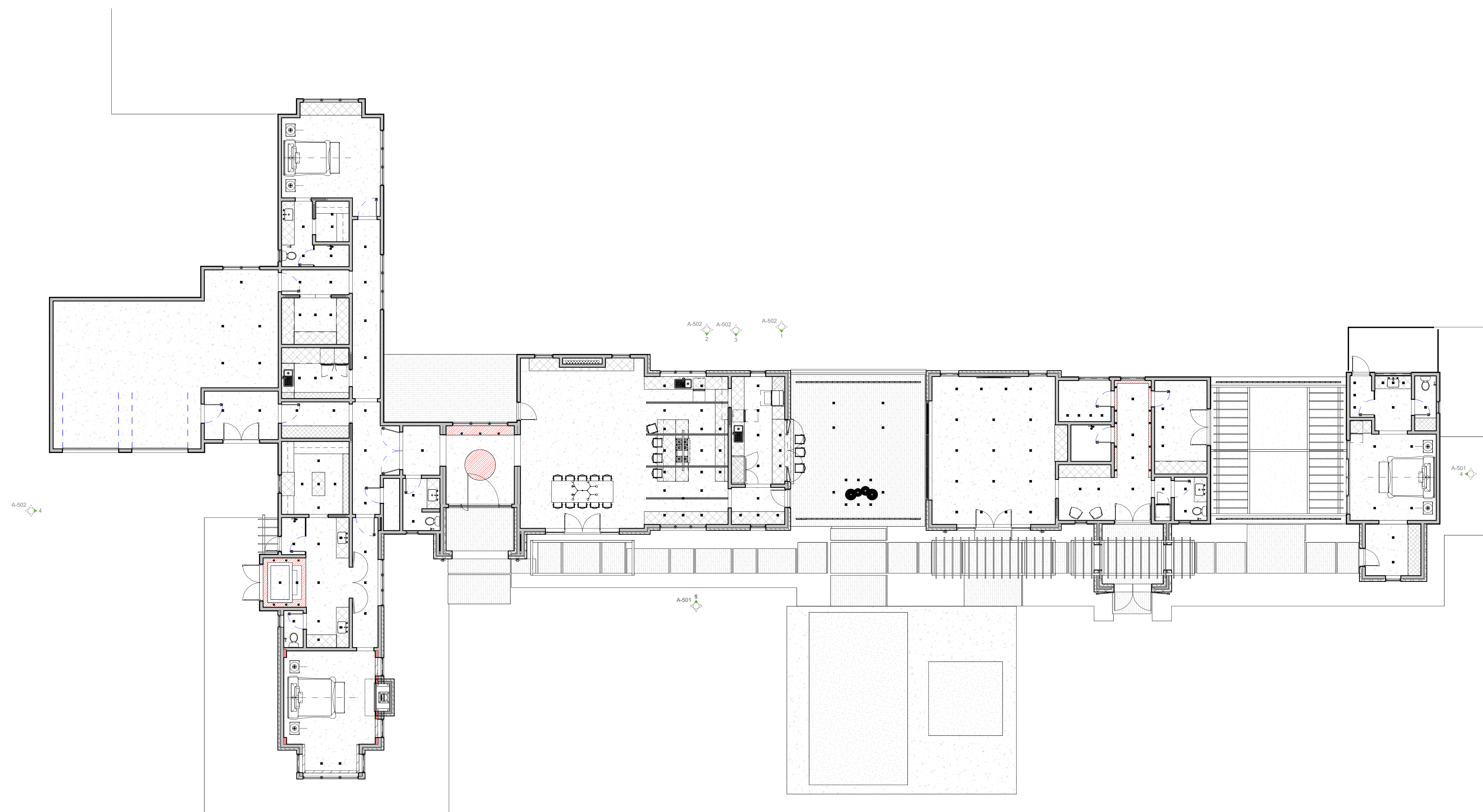
ARCHITECT OF RECORD
M:GRAY ARCHITECTURE
469-855-6275
mgray@mgray.com

INTERIOR DESIGNER

STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT

CONTRACTOR



1 LEVEL 1 OVERALL
SCALE: 1/8" = 1'-0"

ISSUE FOR PERMIT | 04/04/2025

PROJECT ADDRESS | 588 CORNELIUS | ROCKWALL | TEXAS

OWNER | HILLE DANKERF

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HILLE DANKERF
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APPROVAL OF M:GRAY

SCALE: 1/8" = 1'-0"

LEVEL 1 PLAN

A-201



04/04/2025

ARCHITECT OF RECORD
M:GRAY ARCHITECTURE
469-855-6275
mgray@mgray.com

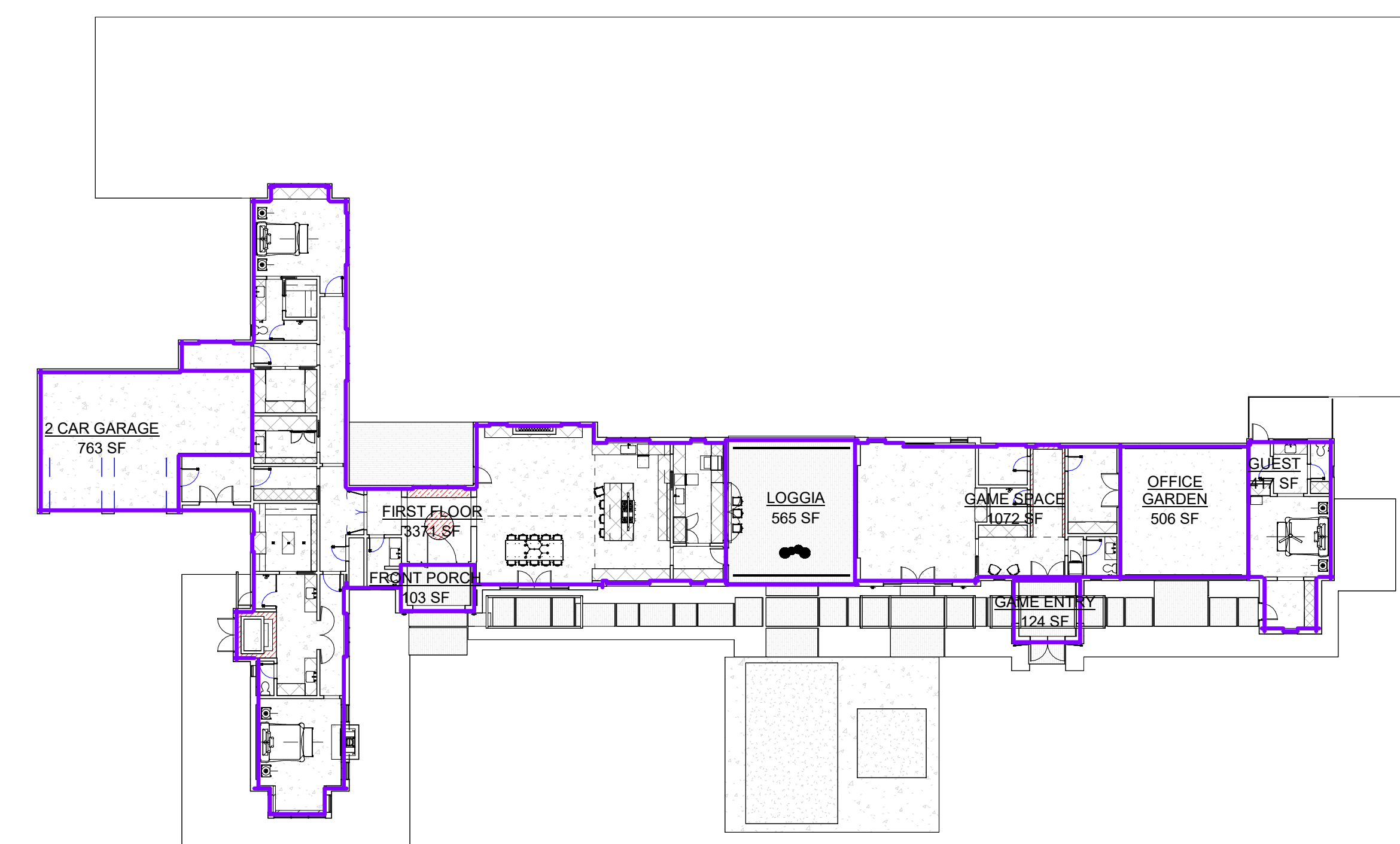
INTERIOR DESIGNER

STRUCTURAL ENGINEER

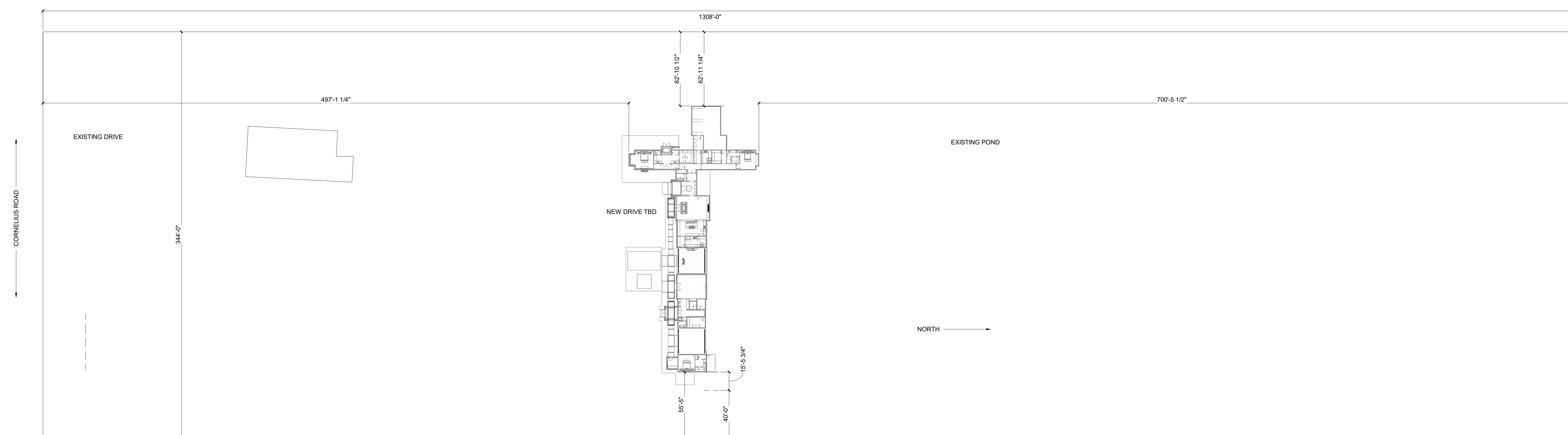
LANDSCAPE ARCHITECT

CONTRACTOR

BUILDING AREA			
Level	Name	Area	Comments
LEVEL 1	GAME SPACE	1072 SF	AC
LEVEL 1	GUEST	417 SF	AC
LEVEL 1	FIRST FLOOR	3371 SF	AC
AC		4860 SF	
LEVEL 1	2 CAR GARAGE	763 SF	NDN AC
LEVEL 1	LOGGIA	565 SF	NDN AC
LEVEL 1	FRONT PORCH	193 SF	NDN AC
LEVEL 1	OFFICE GARDEN	506 SF	NDN AC
LEVEL 1	GAME ENTRY	124 SF	NDN AC
NDN AC		2061 SF	
TOTAL UNDER ROOF: 8		6822 SF	



1 LEVEL 1
SCALE: 1" = 20'-0"



3 SITE
SCALE: 1" = 40'-0"

ISSUE FOR PERMIT | 04/04/2025
PROJECT ADDRESS | 588 CORNELIUS | ROCKWALL | TEXAS
OWNER | HILLE GARDENPORT

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HILLE GARDENPORT
THEY ARE NOT SUITABLE FOR USE ON
OTHER LOCATIONS WITHOUT THE
APPROVAL OF M:GRAY ARCHITECTURE
SCALE: As indicated

INDEX AND AREAS
A-001



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-013

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
401 Cornelius Road	Vacant	N/A	N/A	N/A	N/A
451 Cornelius Road	Vacant	N/A	N/A	N/A	N/A
487 Cornelius Road	Barn	1985	7,986	N/A	N/A
520 Cornelius Road	Vacant	N/A	N/A	N/A	N/A
525 Cornelius Road	Vacant	N/A	N/A	N/A	N/A
555 Cornelius Road	Single-Family Home	1960	2,450	592	Siding
588 Cornelius Road	Barn	2012	2,700	80	Metal
589 Cornelius Road	Single-Family Home	1880	4,507	5380	Siding
614 Cornelius Road	Vacant	N/A	N/A	N/A	N/A
628 Cornelius Road	Single-Family Home	2018	2,632	2310	Metal
635 Cornelius Road	Vacant	N/A	N/A	N/A	N/A
657 Cornelius Road	Vacant	N/A	N/A	N/A	N/A
AVERAGES:		1971	4,055	2,091	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-013

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



401 Cornelius Road



451 Cornelius Road



CITY OF ROCKWALL

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487 Cornelius Road



520 Cornelius Road



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525 Cornelius Road



555 Cornelius Road



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588 Cornelius Road



589 Cornelius Road



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614 Cornelius Road



628 Cornelius Road



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635 Cornelius Road



657 Cornelius Road

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A TEN (10) ACRE PARCEL OF LAND, IDENTIFIED AS TRACT 22-02 OF THE W.M. DALTON SURVEY, ABSTRACT NO. 72, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Brandon Spruill of Spruill Homes on behalf of Hallie Fleming for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a ten (10) acre parcel of land identified as Tract 22-02 of the W.M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 588 Cornelius Road, and being more specifically described and depicted in Exhibit 'A' of this ordinance, which herein after shall be referred to as the Subject Property and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, Permissible Uses, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, General Residential District Standards, and Subsection 02.01, Agricultural

(AG) District, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5th DAY OF MAY, 2025.

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: April 21, 2025

2nd Reading: May 5, 2025

**Exhibit 'A':
Location Map**

Address: 588 Cornelius Road

Legal Description: Tract 22-02 of the W. M. Dalton Survey, Abstract No. 72

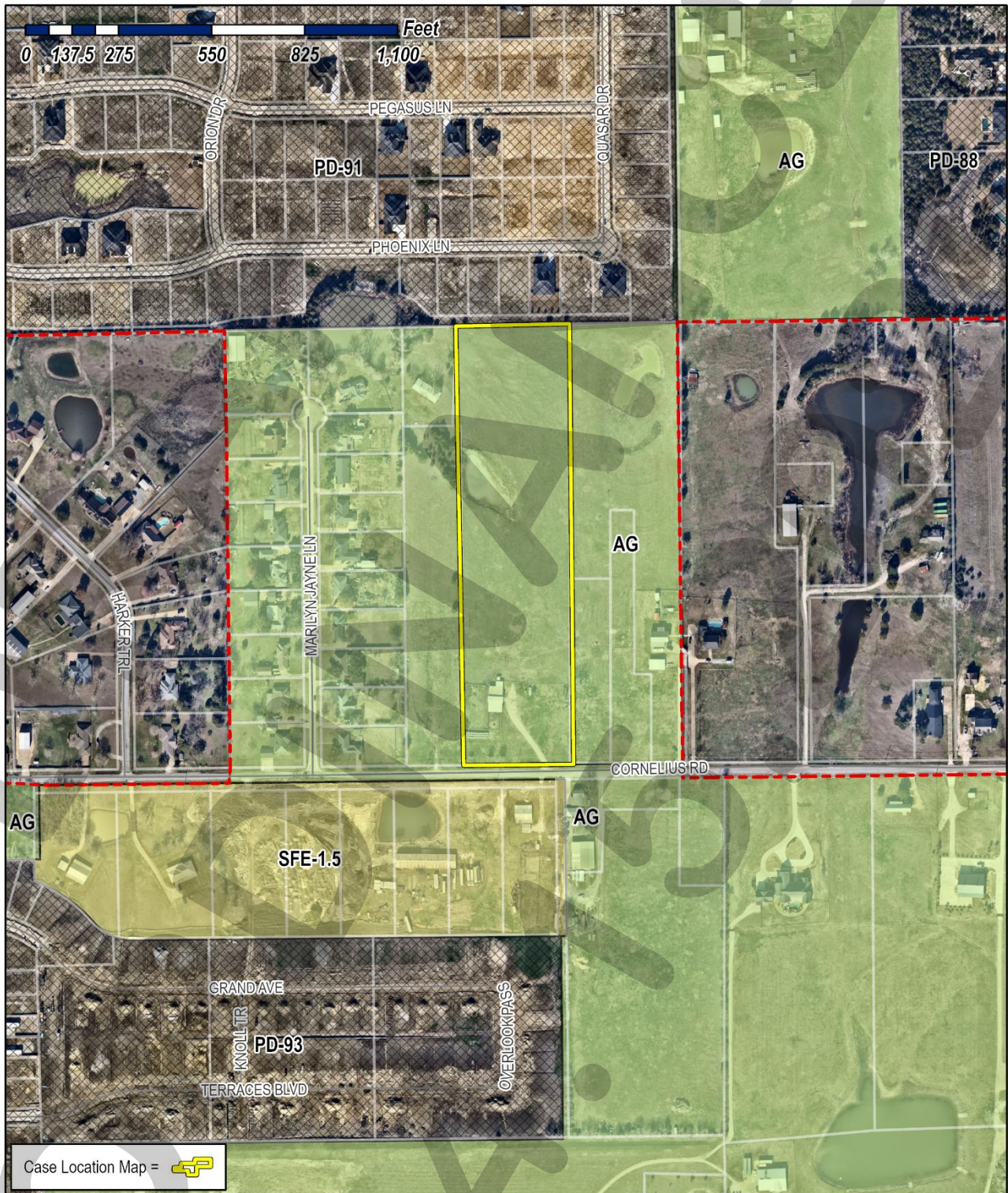


Exhibit 'C':
Building Elevations

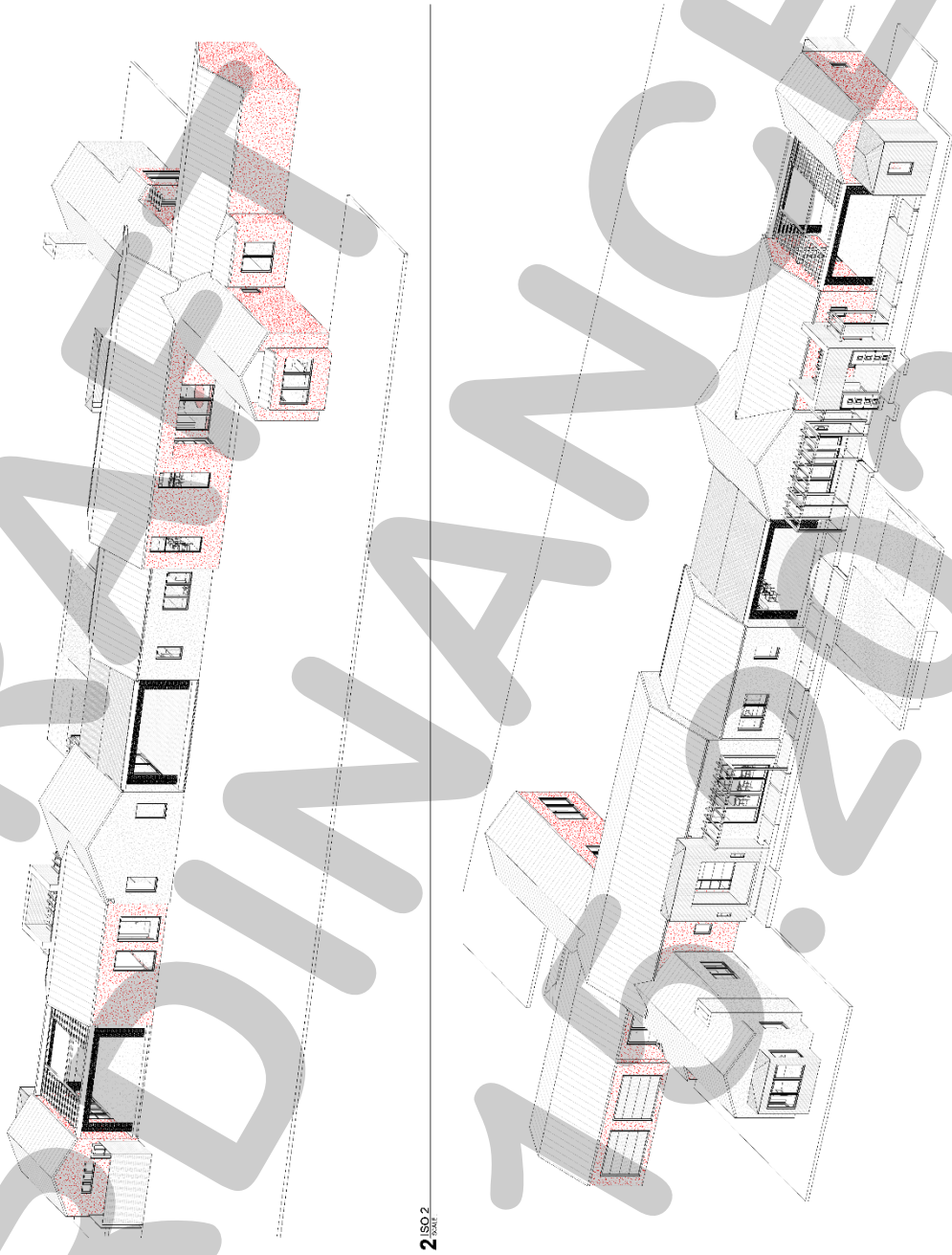
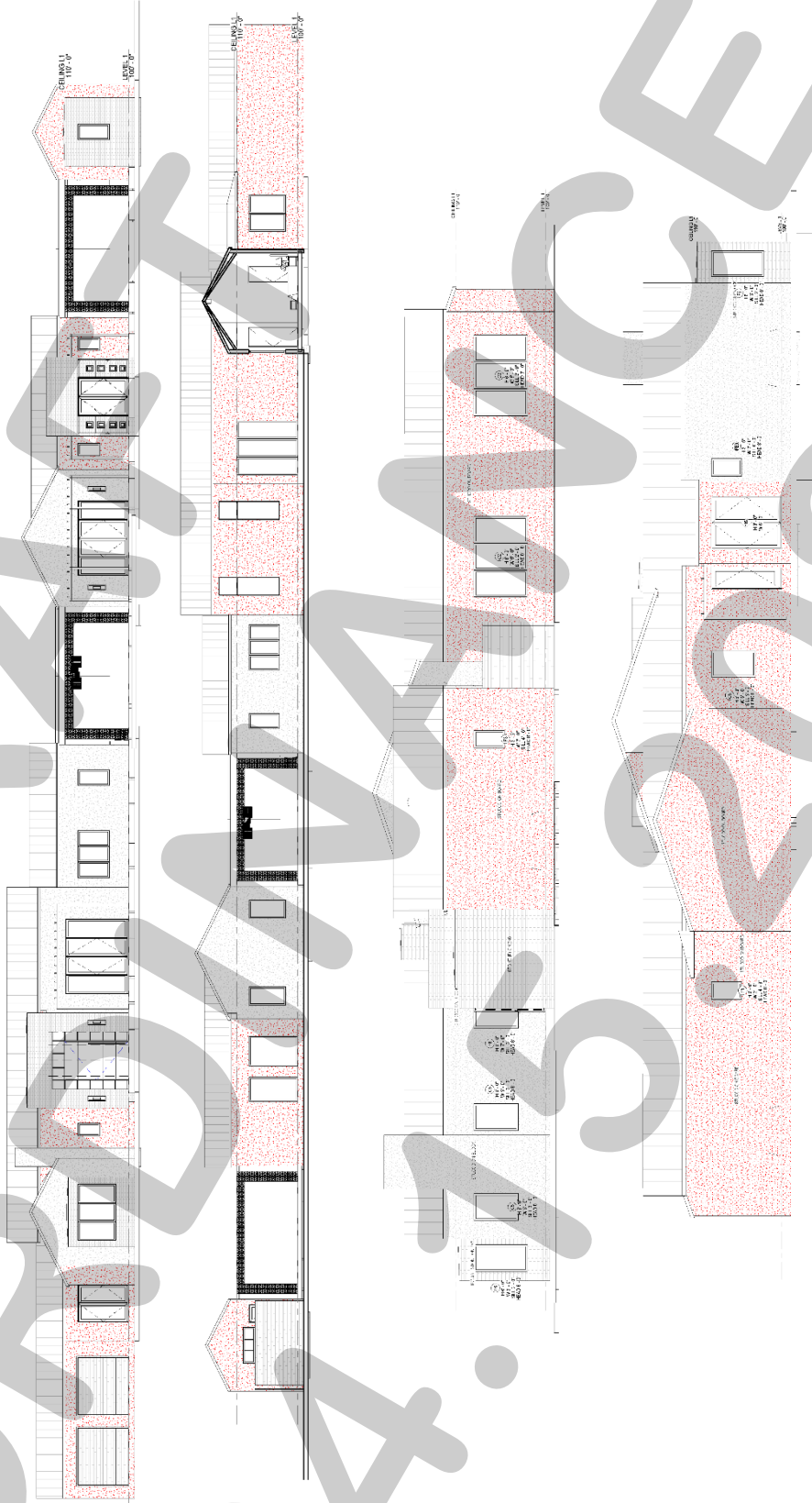


Exhibit 'C':
Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 15, 2025
APPLICANT: Alexander Trujillo
CASE NUMBER: Z2025-014; *Specific Use Permit for a Minor Automotive Repair Garage*

SUMMARY

Hold a public hearing to discuss and consider a request by Alexander Trujillo for the approval of a *Specific Use Permit (SUP)* for *Minor Automotive Repair Garage* on a 2.692-acre parcel of land identified Lot 5, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1460 T. L. Townsend Drive, Suite 116, and take any action necessary.

BACKGROUND

The subject property was annexed on September 5, 1960 by *Ordinance No. 60-02 [i.e. Case A1960-002]*. On July 7, 2014, the City Council approved *Ordinance No. 14-25 [i.e. Case No. Z2014-012]* allowing a mini-warehouse use on the property that contained the subject property. On May 4, 2015, the subject property was platted as Lot 1, Block 1, Platinum Storage Addition as part of *Case No. P2015-013*. On December 21, 2015, the City Council approved a Replat [*i.e. Case No. P2015-041*] to subdivide the existing lot into two (2) parcels of land [*i.e. Lots 2 & 3, Block A, Platinum Storage Addition*] that established the subject property. On June 28, 2016, the Planning and Zoning Commission approved a Site Plan [*i.e. Case No. SP2016-014*] to allow the construction of two (2) office/warehouses on the subject property. On July 5, 2016, the City Council approved variances [*i.e. four (4)-sided architecture and secondary material requirements*] in conjunction with an approved Site Plan [*i.e. Case No. SP2016-014*] for two (2) proposed buildings on the subject property. Currently situated on the subject property are two (2) office/warehouse facilities, consisting of one (1) 10,900 SF building and one (1) 8,680 SF building.

PURPOSE

The applicant -- *Alexander Trujillo* -- is requesting the approval of a Specific Use Permit (SUP) to allow a *Minor Automotive Repair Garage* in a Commercial (C) District on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1460 T.L. Townsend Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a five (5) acre parcel of land (*i.e. Lot 2, Block A, Park Place Business Centre*) that is developed with a 74,660 SF *Commercial Indoor Amusement* facility (*i.e. Shenanigans*). This property is zoned Light Industrial (LI) District. Beyond this is the eastbound lanes of the IH-30 Frontage Road, followed by the main lanes of IH-30, and the westbound lanes of the IH-30 Frontage Road. Following this is a 4.194-acre parcel of land (*i.e. Lot 1, Block A, Emerus Emergency Hospital Addition*) that is zoned Light Industrial (LI) District and is developed with a *Hospital* (*i.e. Baylor Emerus Emergency*).

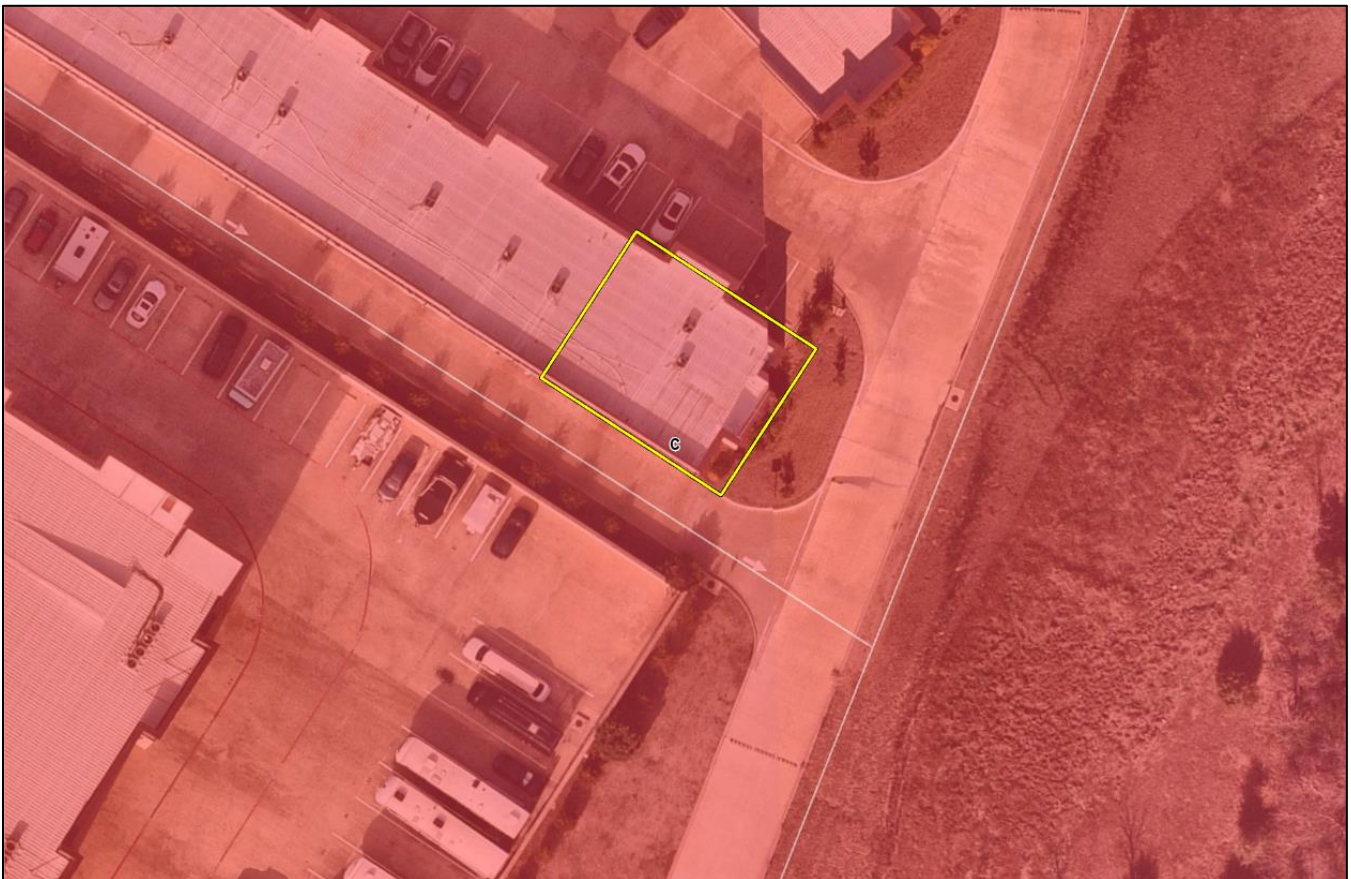
South: Directly south of the subject property is a 10.062-acre tract of land (*i.e. Tract 2-4, Abstract 65, of the J Cadle Survey*), which is vacant and is zoned Commercial (C) District. Beyond this is Old SH-276 which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this thoroughfare is an 8.24-acre parcel of land (*i.e. Lot 8, Block 1, Meadowcreek Business Center*).

Phase 2), which is developed with a 5,110 SF *Retail Store with Gasoline Sales (i.e. Racetrac)* that is zoned Commercial (C) District.

East: Directly east of the subject property is a 3.0047-acre tract of land (*i.e. Tract 2-2 of the J. Cadle Survey, Abstract No. 65*) owned by the City of Heath. Beyond this is T. L. Townsend Drive, which is identified as a A4D (*i.e. arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 4.967-acre parcel of land (*i.e. Lot 4, Bodin Industrial Tract Addition*) owned by the City of Rockwall. Beyond this parcel are several parcels of land developed with industrial land uses that make up the remainder of the Bodin Industrial Tract Subdivision. All of these properties are zoned Light Industrial (LI) District.

West: Directly west of the subject property is a 2.857-acre parcel of land (*i.e. Lot 4, Block A, Platinum Storage Addition*) developed with a *Mini-Warehouse Facility*. South of this is a 20.2904-acre parcel of land (*i.e. Lot 1R, Block 1, Rockwall Centre Corners Addition*) developed with a wholesale grocery store (*i.e. Costco*). All of these properties are zoned Commercial (C) District.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application and a zoning exhibit requesting a Specific Use Permit (SUP) for a *Minor Automotive Repair Garage* on the subject property. According to the Rockwall Central Appraisal District (RCAD) there is an existing 61,980 SF multi-tenant industrial building situated on the subject property. Within this building the applicant is proposing to lease a 1,545 SF space for their *Minor Automotive Repair Garage*, which will provide vehicle window tinting and vinyl wraps by appointment only. As part of the applicant's operations, they will provide same day service and no vehicles will be stored outside overnight. Given this, staff has provided a condition of approval that the *Minor Automotive Repair Garage* shall not have any *Outside Storage* associated with the use. Staff has included all of the applicant's submitted materials in the attached packet for the Planning and Zoning Commission and City Council's review.

CONFORMANCE WITH THE CITY'S CODES

Subsection 02.01(F), *Retail and Personal Service Land Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), defines a *Minor Automotive Repair Garage* as “(m)inor repair or replacement of parts, tires, tubes, and batteries; diagnostic services; minor motor services such as grease, oil spark plugs, and filter changing; tire alignment; tune-ups, emergency road service; replacement of starters, alternators, hoses, brake parts, mufflers; performing state inspections and making minor repairs necessary to pass said inspection; servicing of air-conditioning systems, and similar minor services for motor vehicles except heavy land vehicles, but not including any operation named under *Automobile Repair, Major*, or any other similar use. All work must be performed inside an enclosed building. Vehicles shall not be stored on site for longer than 14 days.” In this case, the applicant’s proposed use falls under this classification, and all of the work will be performed within an enclosed area with no vehicles being stored on site. According to the *Permissible Use Charts* contained in Article 04, *Permitted Uses*, of the Unified Development Code (UDC), a *Minor Automotive Repair Garage* requires a Specific Use Permit (SUP) in a Commercial (C) District. The purpose of this requirement is to acknowledge that the *Minor Automotive Repair Garage* land use is not appropriate within all of the City’s commercial areas, and that the City Council should have discretionary oversight with regard to this land use and their impacts within these types of districts.

STAFF ANALYSIS

According to Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “(t)he purpose of a Specific Use Permit (SUP) is to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district.” In review of the surrounding land uses, many of the uses within the current multi-tenant building include office uses. Based on this, the proposed *Minor Automotive Repair Garage* will not be the typical use within this building; however, the applicant has indicated that the customers for the *Minor Automotive Repair Garage* will be by appointment only and will have similar business operations as an office suite. All that being said, the approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the *IH-30 Corridor District*. This district is composed primarily of a *Special Commercial Corridor (SC)*. The *IH-30 Corridor District* classifies the *Special Commercial Corridor (SC)* into three (3) zones: *Preservation Zone*, *Transitional Zone*, and *Opportunity Zone*. In this case, the subject property is located within the *Preservation Zone*, which is defined as “(a) segment of the existing corridor that is being utilized with the highest and best uses for the properties in that zone, and should be maintained and supported.” That being said, the proposed *Minor Automotive Repair Garage* is located within a multi-tenant commercial building that allows for a variety of uses permitted within the Commercial (C) District area. These uses naturally change over time due to tenant turnover; however, since this use is permitted only by Specific Use Permit (SUP), it is at the discretion of the Planning and Zoning Commission and City Council if the proposed *Minor Automotive Repair Garage* meets the *District Strategies* outlined within the OURHometown Vision 2040 Comprehensive Plan.

NOTIFICATIONS

On March 18, 2025, staff mailed 16 notices to property owners and occupants within 500-feet of the subject property. In addition, the Meadow Creek Estates Homeowner’s Association (HOA) was notified which is the only Homeowner’s Association (HOA) within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). Staff has received no notices in favor or opposed to the applicant’s request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Minor Automotive Repair Garage* within a Commercial (C) District, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The development of the Subject Property shall generally conform to the Site Plan as depicted in Exhibit 'B' of the SUP ordinance.
 - (b) The Minor Automotive Repair Garage shall not have any *Outside Storage* associated with the use.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹

PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹

FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹

REPLAT (\$300.00 + \$20.00 ACRE) ¹

AMENDING OR MINOR PLAT (\$150.00)

PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

SITE PLAN (\$250.00 + \$20.00 ACRE) ¹

AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹

SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}

PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

TREE REMOVAL (\$75.00)

VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 1460 T L Townsend Dr #116 Rockwall TX 75087

SUBDIVISION: _____ LOT: _____ BLOCK: _____

GENERAL LOCATION: _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Commercial (c) District CURRENT USE: Vacant

PROPOSED ZONING: Land use Permitted Specific Use Permit PROPOSED USE: Automotive Tint + Wraps

ACREAGE: _____ LOTS [CURRENT]: _____ LOTS [PROPOSED]: _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>Alexander Trujillo</u>	<input type="checkbox"/> APPLICANT	_____
CONTACT PERSON	_____	CONTACT PERSON	_____
ADDRESS	<u>2110 Glaston Rd</u>	ADDRESS	_____
CITY, STATE & ZIP	<u>Forney TX 75126</u>	CITY, STATE & ZIP	_____
PHONE	<u>972-900-5706</u>	PHONE	_____
E-MAIL	<u>orchid tint + design@gmail.com</u>	E-MAIL	_____

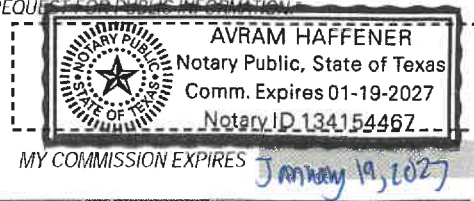
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Alexander Trujillo Arias [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

¹ I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 200.00 + 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF March, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF March, 2025.

OWNER'S SIGNATURE: _____
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: _____





Z2025-014: Specific Use Permit (SUP) for a Minor Automotive Repair Garage at 1460 S. T.L. Townsend Drive

0 20 40 80 120 160 Feet

LI

G

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

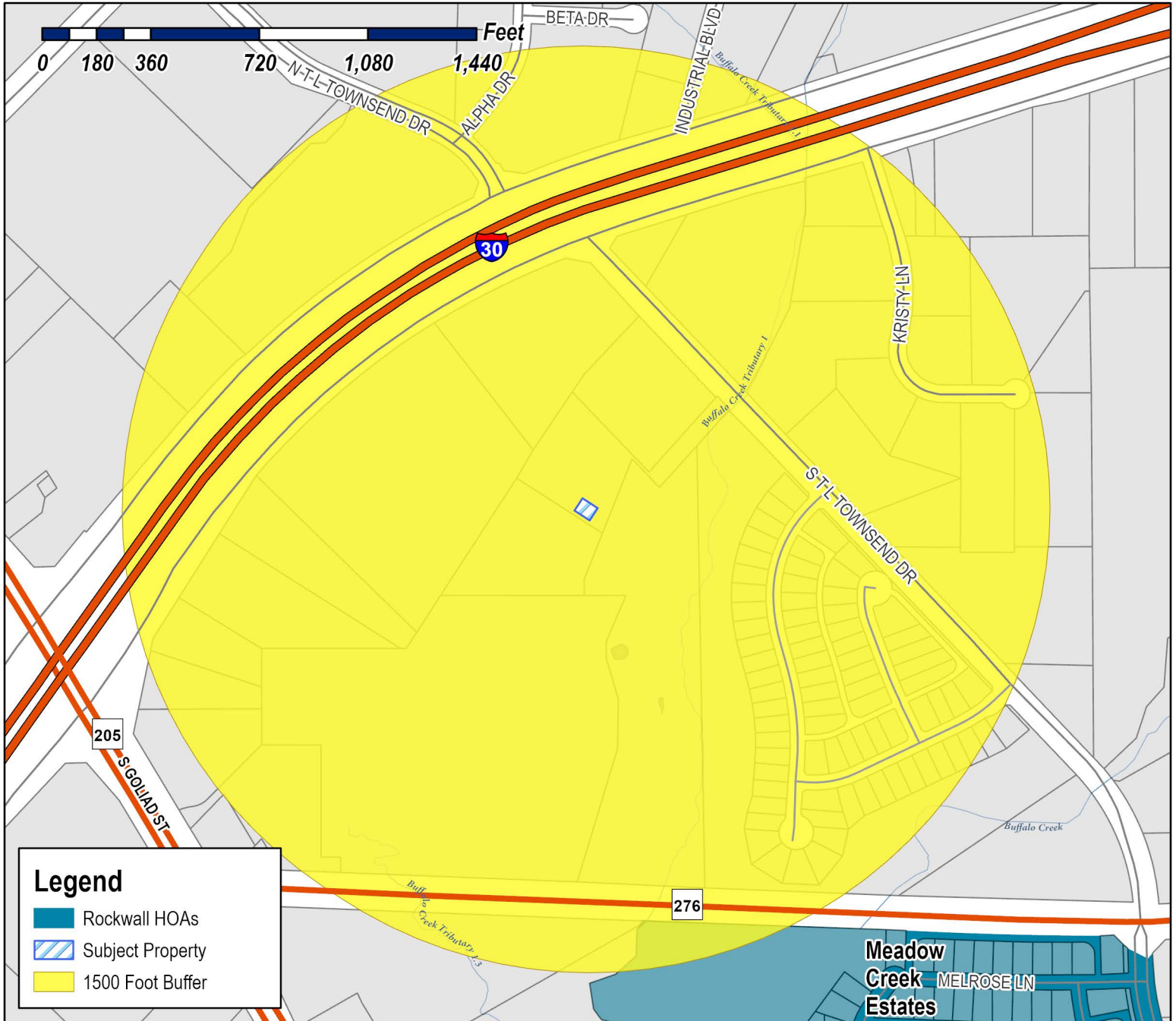




City of Rockwall

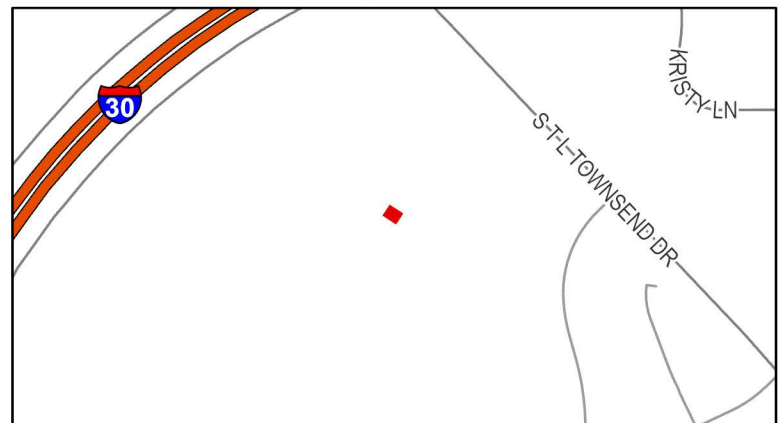
Planning & Zoning Department
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Case Number: Z2025-014
Case Name: SUP for a Minor Automotive Repair Garage
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 1460 S. T.L. Townsend

Date Saved: 3/14/2025
 For Questions on this Case Call (972) 771-7745






Neighborhood Notification Program [Z2025-014]

From Zavala, Melanie <MZavala@rockwall.com>

Date Wed 3/19/2025 9:50 AM

Cc Miller, Ryan <RMiller@rockwall.com>; Lee, Henry <HLee@rockwall.com>; Ross, Bethany <bross@rockwall.com>; Guevara, Angelica <AGuevara@Rockwall.com>

 2 attachments (862 KB)

Public Notice (03.17.2025).pdf; HOA Map (03.19.2025).pdf;

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, March 21, 2025. The Planning and Zoning Commission will hold a public hearing on Tuesday, April 15, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 21, 2025 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2025-014: Specific Use Permit (SUP) for a Minor Automotive Repair Garage

Hold a public hearing to discuss and consider a request by Alexander Trujillo for the approval of a *Specific Use Permit (SUP)* for *Minor Automotive Repair Garage* on a 2.692-acre parcel of land identified Lot 5, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1460 T. L. Townsend Drive, Suite 116, and take any action necessary.

Thank you,

Melanie Zavala

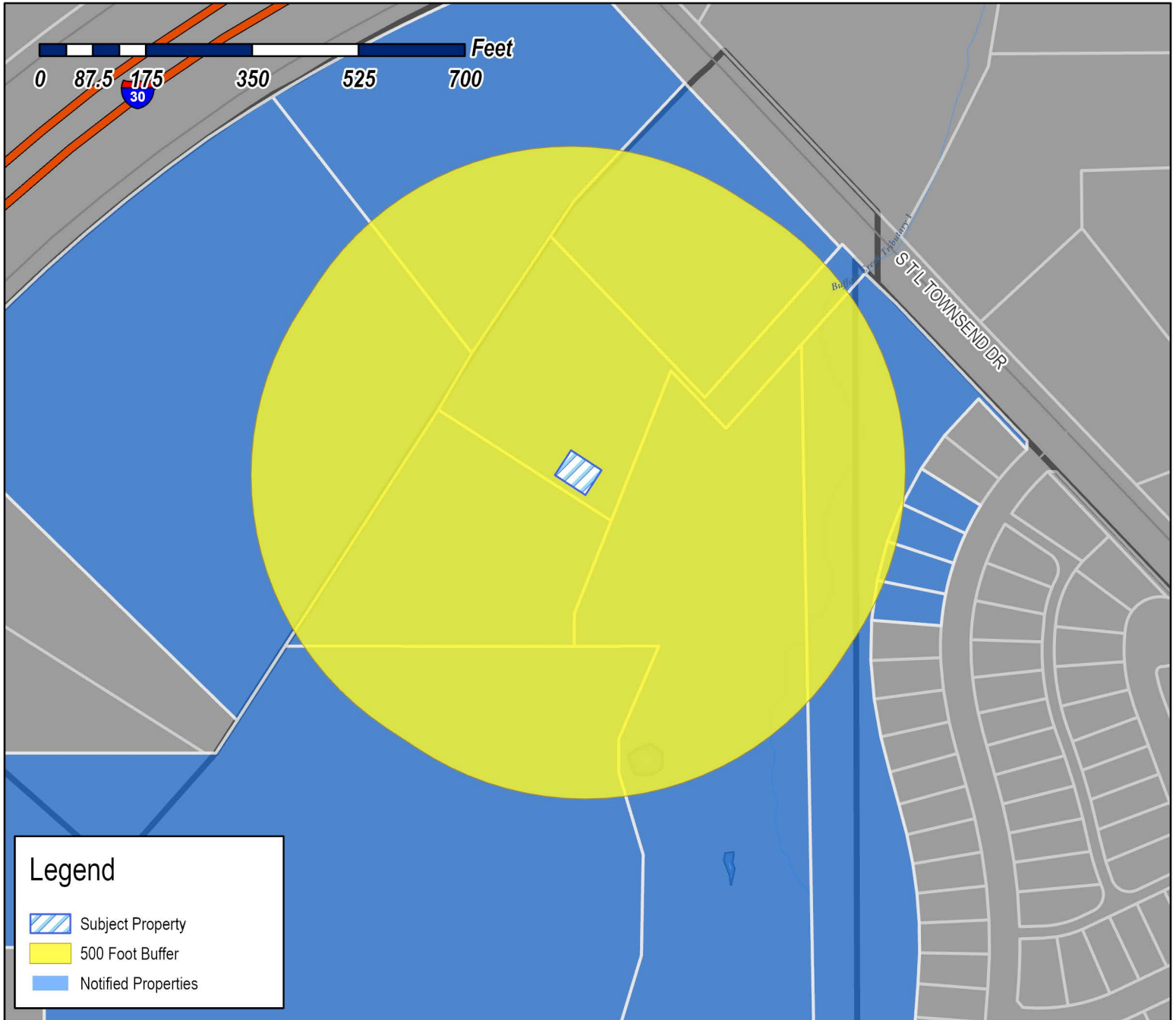
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

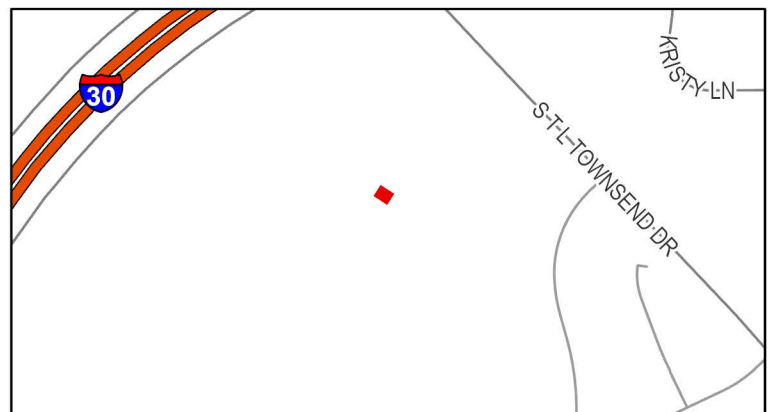
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2025-014
Case Name: SUP for a Minor Automotive Repair Garage
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 1460 S. T.L. Townsend Drive

Date Saved: 3/14/2025

For Questions on this Case Call: (972) 771-7745



RESIDENT
1225 HWY 276
ROCKWALL, TX 75032

RESIDENT
1245 HWY276 DR
ROCKWALL, TX 75032

JACKSON AUTOMOTIVE REAL ESTATE INV LLC
DBA TOYOTA OF ROCKWALL
1250 E INTERSTATE 30
ROCKWALL, TX 75087

RESIDENT
1290 I30
ROCKWALL, TX 75032

SARO PARTNERS LLC
1450 T L TOWNSEND
ROCKWALL, TX 75032

RESIDENT
1460 S TOWNSEND DR
ROCKWALL, TX 75032

RESIDENT
1480 S T L TOWNSEND DR
ROCKWALL, TX 75032

FARR TRAVIS AND MELLISA
1539 TROWBRIDGE CIRCLE
ROCKWALL, TX 75032

COURT MONDA J
1545 Trowbridge Cir
Rockwall, TX 75032

RESIDENT
1551 TROWBRIDGE CIR
ROCKWALL, TX 75032

MOTA SAMUEL
1557 Trowbridge Cir
Rockwall, TX 75032

CITY OF HEATH
200 LAURENCE DRIVE
HEATH, TX 75032

CTE PHASE I LP
2266 LAFAYETTE LNDG
ROCKWALL, TX 75032

FENG YI
2757 SCENIC DR
PLANO, TX 75025

MSC ROCKWALL LLC
725 PARK CENTER DRIVE
MATTHEWS, NC 28105

COSTCO WHOLESALE CORP
PROPERTY TAX DEPT 1049
999 LAKE DR
ISSAQUAH, WA 98027

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-014: Specific Use Permit (SUP) for Minor Automotive Repair Garage

Hold a public hearing to discuss and consider a request by Alexander Trujillo for the approval of a *Specific Use Permit (SUP)* for *Minor Automotive Repair Garage* on a 2.692-acre parcel of land identified Lot 5, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1460 T. L. Townsend Drive, Suite 116, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 15, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 21, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 21, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-014: Specific Use Permit (SUP) for Minor Automotive Repair Garage

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Alexander Trujillo
Owner, Orchid Tint and Designs
1460 T L Townsend Dr #116
Rockwall, TX 75087
(972) 900 5706

3/14/2025

City of Rockwall Planning and Zoning Department

Dear Planning and Zoning Department,

I am writing to formally request a Special Use Permit to operate our new business, Orchid Tint and Designs, at 1460 T L Townsend Dr #116 Rockwall, TX 75087. Our business specializes in window tinting services, as well as paint protection wraps, within a commercial zone.

To provide additional clarity about our operations:

- ****By-Appointment-Only Service****: All vehicle services will be conducted strictly by appointment, ensuring a controlled and organized flow of customer visits.
- ****Same-Day Service****: Services will be completed on the same day, and no vehicles will be stored on-site overnight.
- ****Minimal Disruption****: Our operations are designed to minimize impact on neighboring businesses and traffic within the area.

We are committed to adhering to all regulations and maintaining a professional, clean, and community-conscious establishment. Our business will contribute to the local economy by providing specialized vehicle services while respecting the integrity of the commercial zone.

I kindly ask for your consideration of this request, and I am happy to provide any additional documentation or answer questions that might assist in your evaluation process. Thank you for your time and support.

Sincerely,
Alexander Trujillo
Owner, Orchid Tint and Designs



Orchid Consortium LLC



x Two Parking Spaces

Bay door.

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *MINOR AUTOMOTIVE REPAIR GARAGE* ON A 2.692-ACRE PARCEL OF LAND IDENTIFIED LOT 5, BLOCK A, PLATINUM STORAGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* AND *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Alexander Trujillo for the approval of a *Specific Use Permit (SUP)* for *Minor Automotive Repair Garage* on a 2.692-acre parcel of land identified Lot 5, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1460 T. L. Townsend Drive, Suite 116, and being more specifically depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. The Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow a *Minor Automotive Repair Garage* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.01, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

Z2025-014: SUP for a Minor Automotive Repair Garage at 1460 T.L. Townsend Drive
Ordinance No. 25-XX; SUP # S-3XX

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of the *Minor Automotive Repair Garage* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the *Site Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The *Minor Automotive Repair Garage* shall not have any *Outside Storage* associated with the use.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 5TH DAY OF MAY, 2025.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: April 21, 2025

2nd Reading: May 5, 2025

Exhibit 'A'
Location Map

Legal Description: Lot 5, Block A, Platinum Storage Addition
Address: 1460 T.L. Townsend Drive

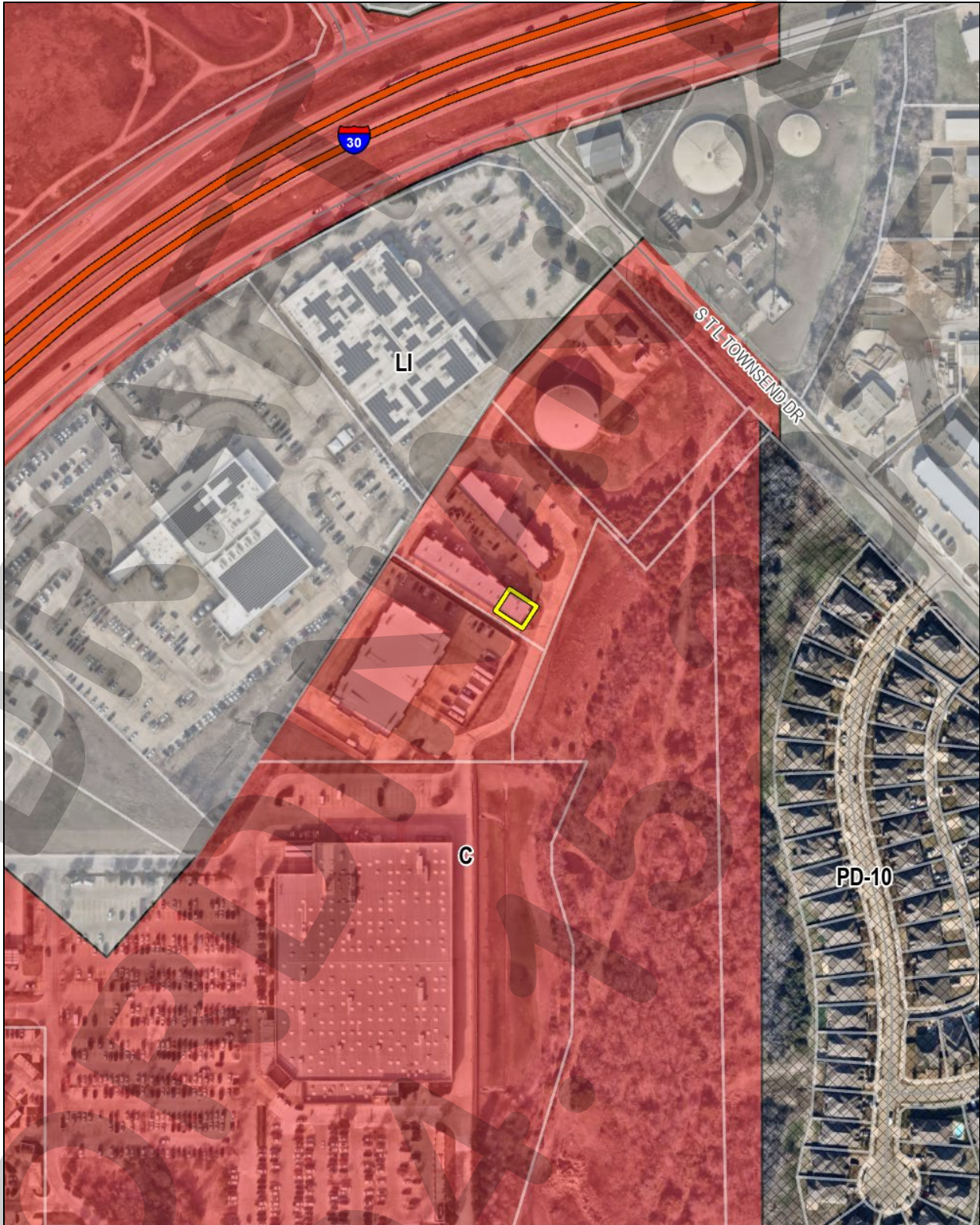


Exhibit 'B':
Site Plan





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: April 15, 2025

APPLICANT: Javier Silva; *JMS Custom Homes*

CASE NUMBER: Z2025-015; *Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision and a Guest Quarters/Secondary Living Unit at 403B S. Clark Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* and a *Guest Quarters/Secondary Living Unit* on a 0.42-acre parcel of land identified as Lot 2, Block 1, Shaw Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 403B S. Clark Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1934 based on the April 1934 Sanborn Map. According to the City's historic zoning maps, the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. Based on the May 16, 1983 zoning map, this designation changed to a Single-Family 7 (SF-7) District. The subject property has remained vacant and zoned Single-Family 7 (SF-7) District. On July 7, 2012, the subject property was platted as Lot 2, Block 1, Shaw Addition.

PURPOSE

The applicant -- *Javier Silva of JMS Custom Homes* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home and a *Guest Quarters/Secondary Living Unit* on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, and Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 403B S. Clark Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is one (1) parcel of land [*i.e. 403A S. Clark Street*] which is the remainder of the Shaw Addition. Beyond this are five (5) parcels of land [*i.e. 301, 307, 401 S. Clark Street and 706 & 708 Hartman Street*] that make up a part of the B.F. Boydston Addition. All of these properties are developed with single-family homes and are zoned Single-Family 7 (SF-7) District. North of this is Hartman Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is the Clark Street Homesite Addition, which consists of two (2) lots [*i.e. 405 & 407 S. Clark Street*] developed with single-family homes. Beyond this is the Haley and Kyle Subdivision, which consists of two (2) lots [*i.e. 501 & 503 S. Clark Street*] that are developed with single-family homes. South of this is one (1) parcel of land [*i.e. Block 107 of the B.F. Boydston Addition*] which is developed with a single-family home. All of these properties are zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is a vacant 6.60-acre parcel of land [*i.e. Lot 8, Block A, Richard Harris No. 2 Addition*] zoned Single-Family 7 (SF-7) District. Beyond this are seven (7) parcels of land [*i.e. 400, 402, 404, 406,*

408, 410 & 412 Renfro Street] that are developed with single-family homes and make up the remainder of the Richard Harris No. 2 Addition. All of these properties are zoned Single-Family 7 (SF-7) District. East of this is Renfro Street, which is classified as a *Minor Collector* on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is S. Clark Street, which is classified as a *Minor Collector* on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Shields. Subdivision, which consists of 4 lots on 0.85-acres. West of this are various parcels of land that make up part of three (3) different subdivisions [*i.e. B.F. Boydston, Dodson Hardin, and Tovar Subdivisions*]. These properties are all developed with single-family homes and zoned Single-Family 7 (SF-7) District.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the B.F. Boydston Addition, which is considered to be an established subdivision, and has been in existence for more than ten (10) years, consists of more than five (5) lots, and is greater than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being within 500-feet of an established subdivision and being zoned Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on S. Clark Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on S. Clark Street	Proposed Housing
Building Height	One (1) & Two (2) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face S. Clark Street
Year Built	1900 - 2022	N/A
Building SF on Property	752 SF – 5,408 SF	3,110 SF
Building Architecture	Mostly Single-Family Homes and One (1) Vacant Lot	Comparable Architecture to the Surrounding New Single-Family Homes
Building Setbacks:		
Front	20-Feet or Greater	20-Feet
Side	Estimated between zero (0) and greater than ten (10) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	Greater Than Ten (10) Feet
Building Materials	Brick, Siding, and Stone	Board & Batten Siding
Paint and Color	Grey, White, Red, Orange, Brown	N/A
Roofs	Composite & Asphalt Shingles	Composite Shingle and Metal
Driveways/Garages	Driveways all front the same street the single-family home faces. Front-facing and some with no garages.	The proposed garage will be set eight (8) feet, 1-2-inch in front of the front façade of the home.

In this case, the applicant is proposing a home that is not conforming to one (1) standard outlined in the Unified Development Code (UDC). This is as follows:

- (1) Garage. According to Subsection 04.01(B), *Lots Less Than Five Acres*, of Article 06, *Parking and Loading*, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the proposed garage is located 8-feet, ½-inch in front of the front façade of the home. In this case, the proposed garage is situated 8-feet, ½-inch in front of the front façade of the home which will require a variance from the Planning and Zoning Commission. When looking at this non-conformity, staff should point out that this is not uncommon along the existing housing on S. Clark Street and staff does not feel this is will create a negative impact within the subdivision.

With this being said, this is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the Planning and Zoning Commission and City Council will be waiving this requirement. With the exception of this deviation from the *District Development Standards*, the rest of the request for the single-family home does appear to be in conformance with the density and dimensional requirements stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along S. Clark Street and the proposed building elevations in the attached packet.

According to Article 13, *Definitions*, of the Unified Development Code (UDC) a *Guest Quarters/Secondary Living Unit* is defined as “(a)n accessory building designed for the temporary occupancy of guests of the primary dwelling for which there is no remuneration and is not rented or otherwise used as separate domicile.” According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* requires a Specific Use Permit (SUP) in a Single-Family 7 (SF-7) District and -- according to Subsection 02.03 -- is subject to the following *Conditional Land Use Standards*: [1] the structure must be ancillary to a single-family home, [2] the square footage of the structure shall not exceed 30.00% of the square footage of the primary structure, and [3] the structure may not be sold or conveyed separately from the single-family home without meeting the zoning requirements for the district. In addition to these requirements, a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is subject to the dimensional requirements contained in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, and the parking requirements of Article 06, *Parking and Loading*, of the Unified Development Code (UDC). As stated above, *Guest Quarters/Secondary Living Unit* are permitted to be 30.00% of the square footage of the primary structure. In this case, the applicant is permitted a 933 SF *Guest Quarters/Secondary Living Unit* (i.e. 3,110 SF x 30.00% = 933 SF) based on the operational conditions for a *Guest Quarters/Secondary Living Unit*. With that being said, the applicant is only requesting a 626 SF *Guest Quarters/Secondary Living Unit*, which represents 20.13% of the primary structure. This is approximately 9.87% less than what the Unified Development Code (UDC) allows.

If the applicant's Specific Use Permit (SUP) is approved, staff has included operational conditions in the Specific Use Permit (SUP) ordinance that tie down the size, height, and general architecture of the proposed single-family home and *Guest Quarters/Secondary Living Unit*. With this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On March 18, 2025, staff mailed 84 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowner's Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff had not received any notices back regarding the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision and Guest Quarters/Secondary Living Unit*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'*

of the draft ordinance.

- (b) The construction of a *single-family home and guest quarters/secondary living unit* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance.
 - (c) The Guest Quarters/Secondary Living Unit shall not exceed a maximum of 630 SF.
 - (d) The Guest Quarters/Secondary Living Unit shall not incorporate full kitchen facilities.
 - (e) The Guest Quarters/Secondary Living Unit shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance; and,
 - (f) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this *Specific Use Permit (SUP)* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

403 ~~Box A~~ Clark St. Rockwall TX 75087

SUBDIVISION

Shaw Addition

LOT

2

BLOCK

1

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

Residential

CURRENT USE

Land

PROPOSED ZONING

Residential

PROPOSED USE

New Build

ACREAGE

0.42

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

JMS Custom Homes

APPLICANT

Javier Silva

CONTACT PERSON

Javier Silva

CONTACT PERSON

Javier Silva

ADDRESS

58 Windsor DR.

ADDRESS

58 Windsor DR.

CITY, STATE & ZIP

Rockwall TX 75082

CITY, STATE & ZIP

Rockwall TX 75082

PHONE

972-814-9462

PHONE

972-814-9462

E-MAIL

support@JMSCustomHomes.net

E-MAIL

support@JMSCustomHomes.net

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Javier Silva [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

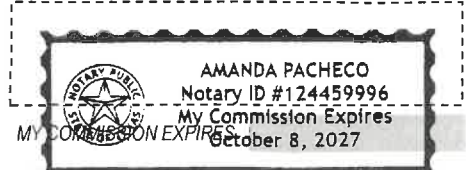
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF March 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

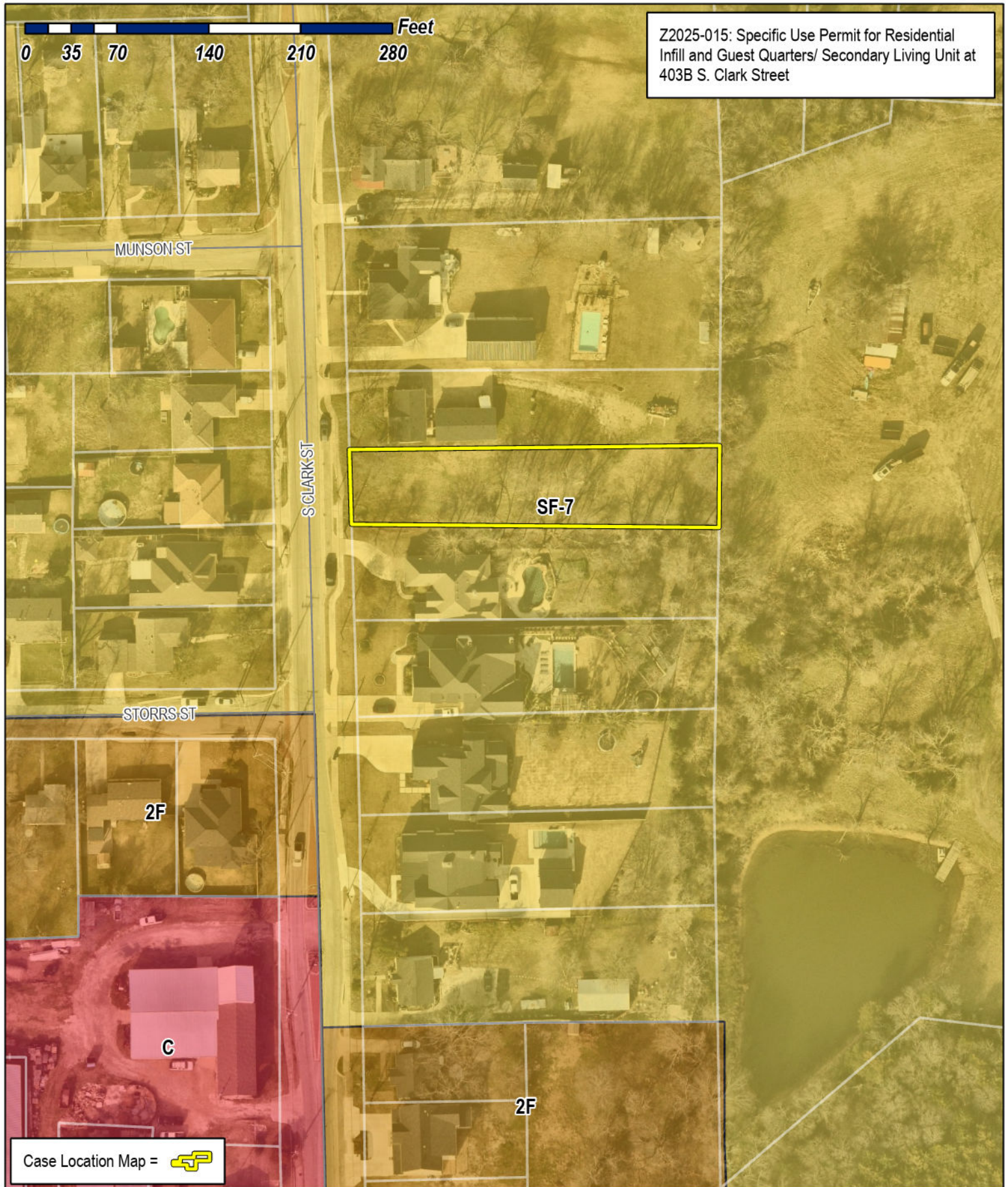
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF March, 2025

OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2025-015: Specific Use Permit for Residential Infill and Guest Quarters/ Secondary Living Unit at 403B S. Clark Street

0 35 70 140 210 280 Feet

MUNSON ST

S CLARK ST


STORRS ST

SF-7

2F

C

2F

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

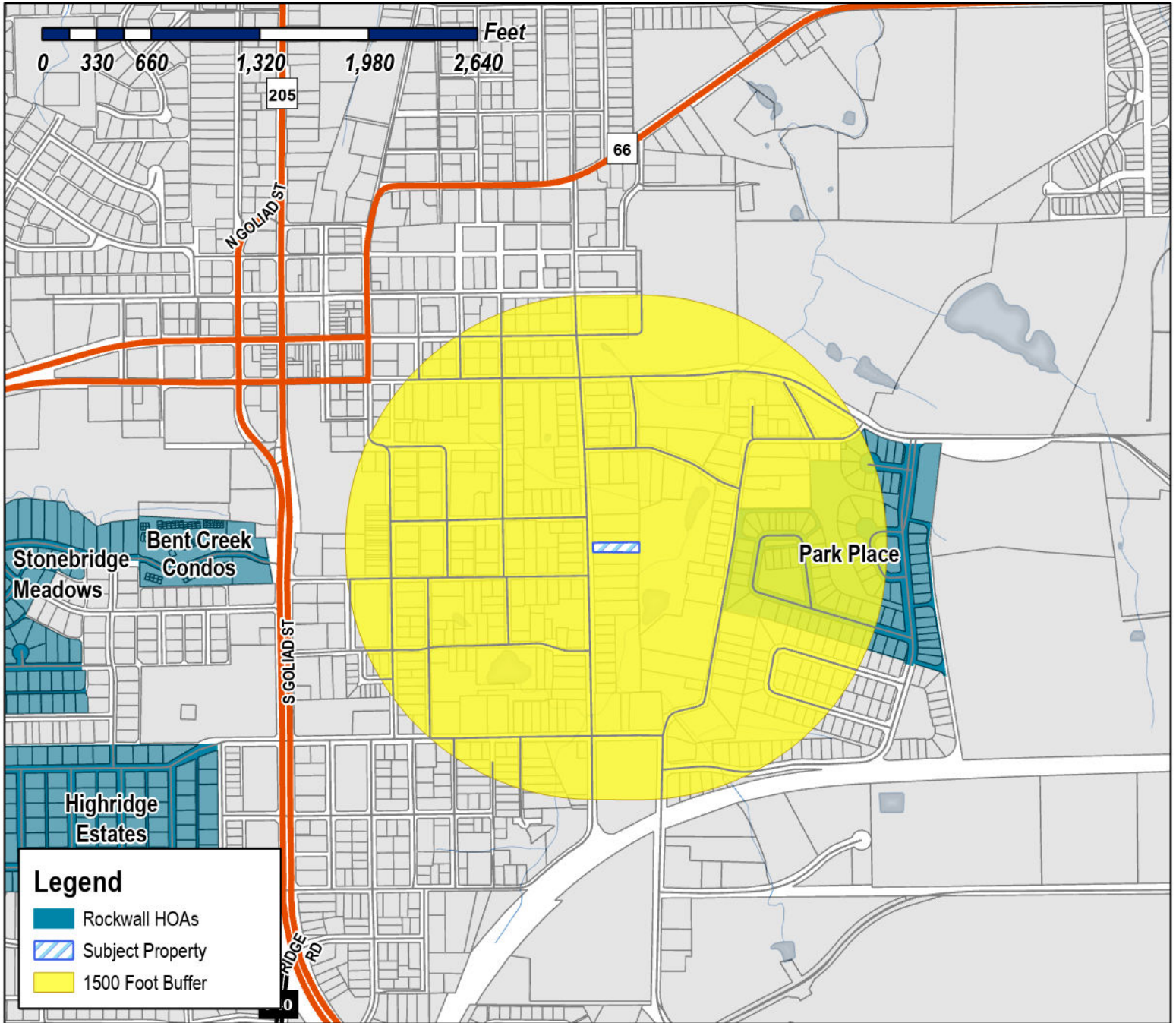




City of Rockwall

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Case Number: Z2025-015
Case Name: Specific Use Permit (SUP) for Residential Infill & Guest Quarters/ Secondary Living Unit
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 403B S. Clark Street

Date Saved: 3/14/2025
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2025-015]
Date: Wednesday, March 19, 2025 9:43:50 AM
Attachments: [Public Notice \(03.17.2025\).pdf](#)
[HOA Map \(03.19.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, March 21, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, April 15, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, April 21, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2025-015: Specific Use Permit (SUP) for a Residential Infill and a Guest Quarters/ Secondary Living Unit
Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision and a Guest Quarters/Secondary Living Unit on a 0.42-acre parcel of land identified as Lot 2, Block 1, Shaw Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 403B S. Clark Street, and take any action necessary.

Thank you,

Melanie Zavala

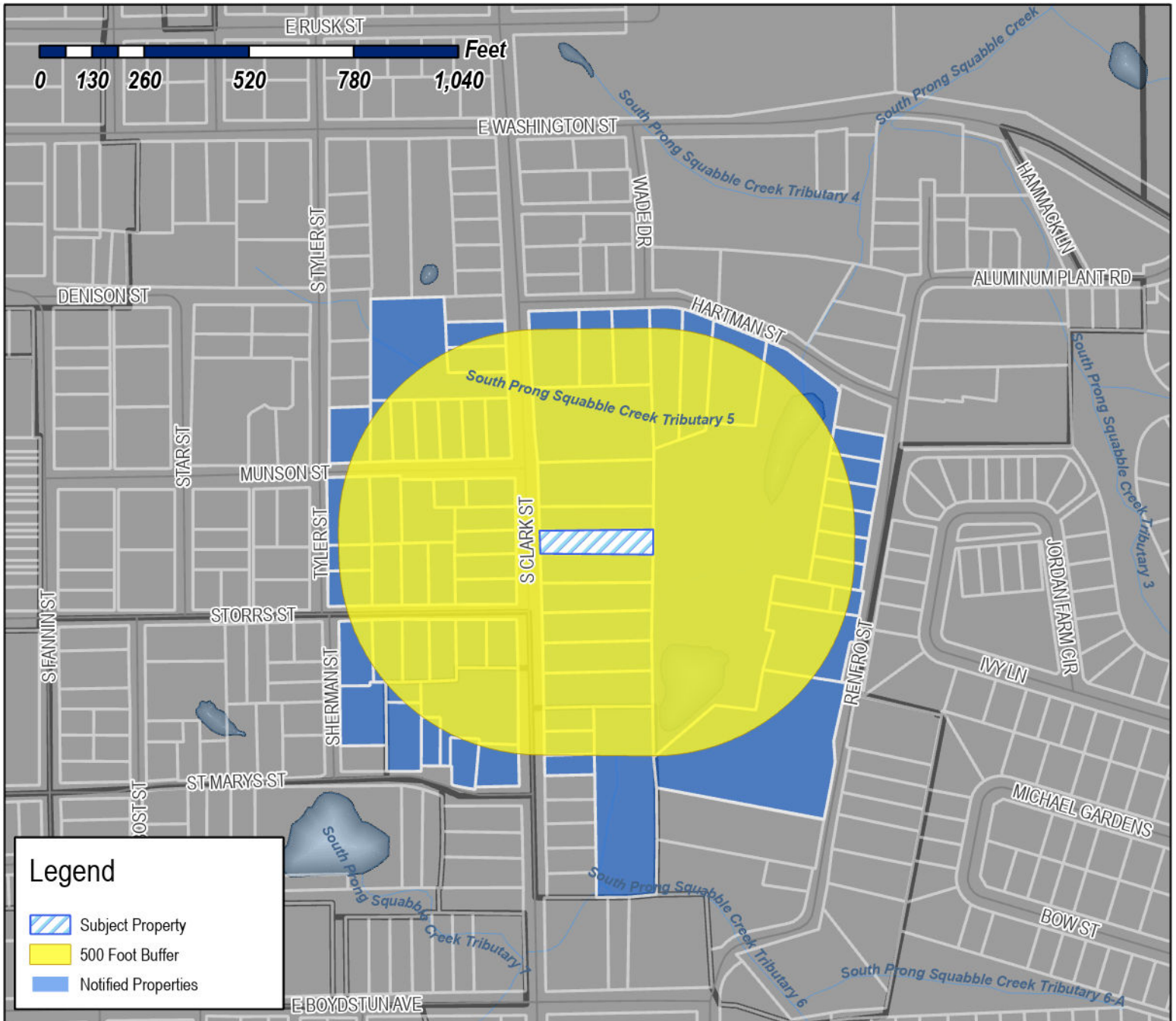
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

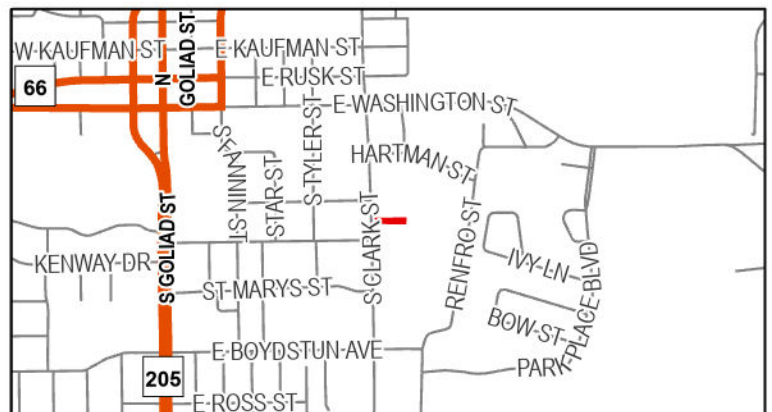
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2025-015
Case Name: Specific Use Permit (SUP) for Residential Infill & Guest Quarters/ Secondary Living Unit
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 403B S. Clark Street

Date Saved: 3/14/2025

For Questions on this Case Call: (972) 771-7745



MCCALLUM V LLC
DARRELL ALAN MCCALLUM AND SHARON
FRANCES MCCALLUM AS MEMBERS
1 SOAPBERRY LN
ROCKWALL, TX 75087

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

GADDIS DANNY E
12922 EPPS FIELD RD
FARMERS BRANCH, TX 75234

HOGUE MIKE
1498 HUBBARD DRIVE
FORNEY, TX 75126

BOREN TERRY L ETUX
207 GNARLY OAKS WAY
LTL RVR ACAD, TX 76554

LOWREY SUSAN
2070 PONTCHARTRAIN DR
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
210 GLENN AVENUE
ROCKWALL, TX 75087

CASTRO DEVELOPMENT LLC
2212 Ridge Crest Dr
Richardson, TX 75080

MUNSON PARTNERS 1 LLC
2241 AUBURN AVE
DALLAS, TX 75214

CONFIDENTIAL
2420 Conrad Cir
Heath, TX 75032

CAUBLE LINDA
301 S CLARK ST
ROCKWALL, TX 75087

BURGESS JULIA ANN
302 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
306 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
307 S CLARK ST
ROCKWALL, TX 75087

STARK ROBERT SCOTT
3090 N GOLIAD ST SUITE 102 #213
ROCKWALL, TX 75087

CLARK STREET VENTURES LLC
401 COUNTRY RIDGE RD
ROCKWALL, TX 75087

COMBS MARK HILTON AND VERONICA RUTH
401 SOUTH CLARK STREET
ROCKWALL, TX 75087

RESIDENT
402 RENFRO ST
ROCKWALL, TX 75087

SADLER LESLIE A
402 S CLARK ST
ROCKWALL, TX 75087

LIVINGSTON JUSTIN AND BROOKE
403 S CLARK STREET
ROCKWALL, TX 75087

RESIDENT
404 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
404 S CLARK ST
ROCKWALL, TX 75087

BRAMLETT DAVID KYLE & DEIDRE MONIQUE
405 S CLARK ST
ROCKWALL, TX 75087

TOVAR LUIS & MARICELA
405 TYLER ST
ROCKWALL, TX 75087

TOVAR LUIS & MARICELA
405 TYLER ST
ROCKWALL, TX 75087

RESIDENT
406 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
406 S CLARK ST
ROCKWALL, TX 75087

BOWEN CHASE AND
PERRY BOWEN
407 S. CLARK ST.
ROCKWALL, TX 75087

RESIDENT
408 RENFRO ST
ROCKWALL, TX 75087

GADDIS CAMILLE D
408 SOUTH CLARK STREET
ROCKWALL, TX 75087

RESIDENT
410 RENFRO ST
ROCKWALL, TX 75087

SIMS CHRIS AND TERESA
410 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
412 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
500 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
501 SHERMAN ST
ROCKWALL, TX 75087

HUDSON KATIE
501 MUNSON ST
ROCKWALL, TX 75087

BRYAN KYLE AND HALEY BROOKE BOWEN
501 S CLARK ST
ROCKWALL, TX 75087

HOLLAND TRENTON A AND
ROD HOLLAND
502 MUNSON STREET
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

RICHARDSON JEANETTE
503 MUNSON ST
ROCKWALL, TX 75087

GARTH GARY AND CYNTHIA
503 SOUTH CLARK ST
ROCKWALL, TX 75087

RESIDENT
504 MUNSON ST
ROCKWALL, TX 75087

RESIDENT
505 MUNSON ST
ROCKWALL, TX 75087

RESIDENT
506 RENFRO ST
ROCKWALL, TX 75087

EARNHEART JOHN L
506 MUNSON ST
ROCKWALL, TX 75087

WYCKOFF MICHELE M
507 MUNSON ST
ROCKWALL, TX 75087

LECOUR DAVID & RENEE
507 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
508 MUNSON ST
ROCKWALL, TX 75087

CIELO BLUE FAMILY HOLDINGS LLC - SERIES 1
508 HIGHVIEW LANE
ROCKWALL, TX 75087

RESIDENT
509 MUNSON ST
ROCKWALL, TX 75087

CASTRO RENE AND BETSY
509 SOUTH CLARK STREET
ROCKWALL, TX 75087

RESIDENT
510 S CLARK
ROCKWALL, TX 75087

RESIDENT
511 MUNSON ST
ROCKWALL, TX 75087

RESIDENT
511 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
512 S CLARK
ROCKWALL, TX 75087

RESIDENT
513 MUNSON ST
ROCKWALL, TX 75087

JIMENEZ ANTONIO P CRUZ AND
NORMA L CRUZ HERNANDEZ
513 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
601 STORRS ST
ROCKWALL, TX 75087

LEE STEPHANIE
602 Storrs St
Rockwall, TX 75087

JONES PEGGY
604 STORRS ST
ROCKWALL, TX 75087

DAVIS JIMMY JACK
605 STORRS ST
ROCKWALL, TX 75087

DAVIS AMY M AND WESLEY D
606 STORRS STREET
ROCKWALL, TX 75087

RESIDENT
607 ST MARY
ROCKWALL, TX 75087

HALDEMAN MICHAEL
607 STORRS ST
ROCKWALL, TX 75087

RESIDENT
608 STORRS ST
ROCKWALL, TX 75087

RESIDENT
609 STORRS ST
ROCKWALL, TX 75087

JOHNSTON SHERRI A
610 STORRS ST
ROCKWALL, TX 75087

H & M TOOL AND DIE CO
611 SAINT MARY ST
ROCKWALL, TX 75087

RESIDENT
612 STORRS ST
ROCKWALL, TX 75087

RESIDENT
613 ST MARYS PL
ROCKWALL, TX 75087

RESIDENT
706 HARTMAN ST
ROCKWALL, TX 75087

MOORE LAKISHA Q AND JASON
708 HARTMAN ST
ROCKWALL, TX 75087

501 SHERMAN, A SERIES OF STARK FAMILY
PROPERTIES, LLC
710 AGAPE CIR
ROCKWALL, TX 75087

507-509 SHERMAN, A SERIES OF STARK FAMILY
PROPERTIES, LLC
C/O ROBERT STARK
710 AGAPE CIR
ROCKWALL, TX 75087

RENDON MARCELINO J JR
710 HARTMAN ST
ROCKWALL, TX 75087

GILLIAM ROBERT W JR & PERRILYN
712 HARTMAN ST
ROCKWALL, TX 75087

HOOVER LINDA WEST-
716 HARTMAN STREET
ROCKWALL, TX 75087

SIMMONS JOHN V & JOAN M
802 AGAPE CIR
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
880 IVY LANE
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
904 CAMPTON CT
ROCKWALL, TX 75032

TUTTLE LEON ETUX
963 W Yellowjacket Ln Apt 122
Rockwall, TX 75087

DEL BOSQUE RODOLFO
PO BOX 2437
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
PO BOX 2437
ROCKWALL, TX 75087

AUBE JEAN-PAUL III
PO BOX 868
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-015: Specific Use Permit (SUP) for Residential Infill and a Guest Quarters/ Secondary Living Unit

Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* and a *Guest Quarters/Secondary Living Unit* on a 0.42-acre parcel of land identified as Lot 2, Block 1, Shaw Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 403B S. Clark Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 15, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 21, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 21, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-015: Specific Use Permit (SUP) for Residential Infill and a Guest Quarters/ Secondary Living Unit

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-015

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
401 S. Clark Street	Single-Family Home	1900	3,925	1,140	Siding
402 S. Clark Street	Single-Family Home	1987	1,688	374	Brick and Siding
403A S. Clark Street	Single-Family Home	1966	752	N/A	Stone and Siding
403B S. Clark Street	Vacant	N/A	N/A	N/A	N/A
404 S. Clark Street	Single-Family Home	1983	1,529	N/A	Brick
405 S. Clark Street	Single-Family Home	2006	2,783	N/A	Brick and Stone
406 S. Clark Street	Single-Family Home	1990	1,588	144	Brick
407 S. Clark Street	Single-Family Home	2019	5,408	N/A	Siding
408 S. Clark Street	Single-Family Home	2006	3,251	N/A	Brick and Stone
410 S. Clark Street	Single-Family Home	1989	1,772	N/A	Siding
501 S. Clark Street	Single-Family Home	2021	4,561	N/A	Siding
503 S. Clark Street	Single-Family Home	2022	4,990	N/A	Siding
AVERAGES:		1990	2,932	553	



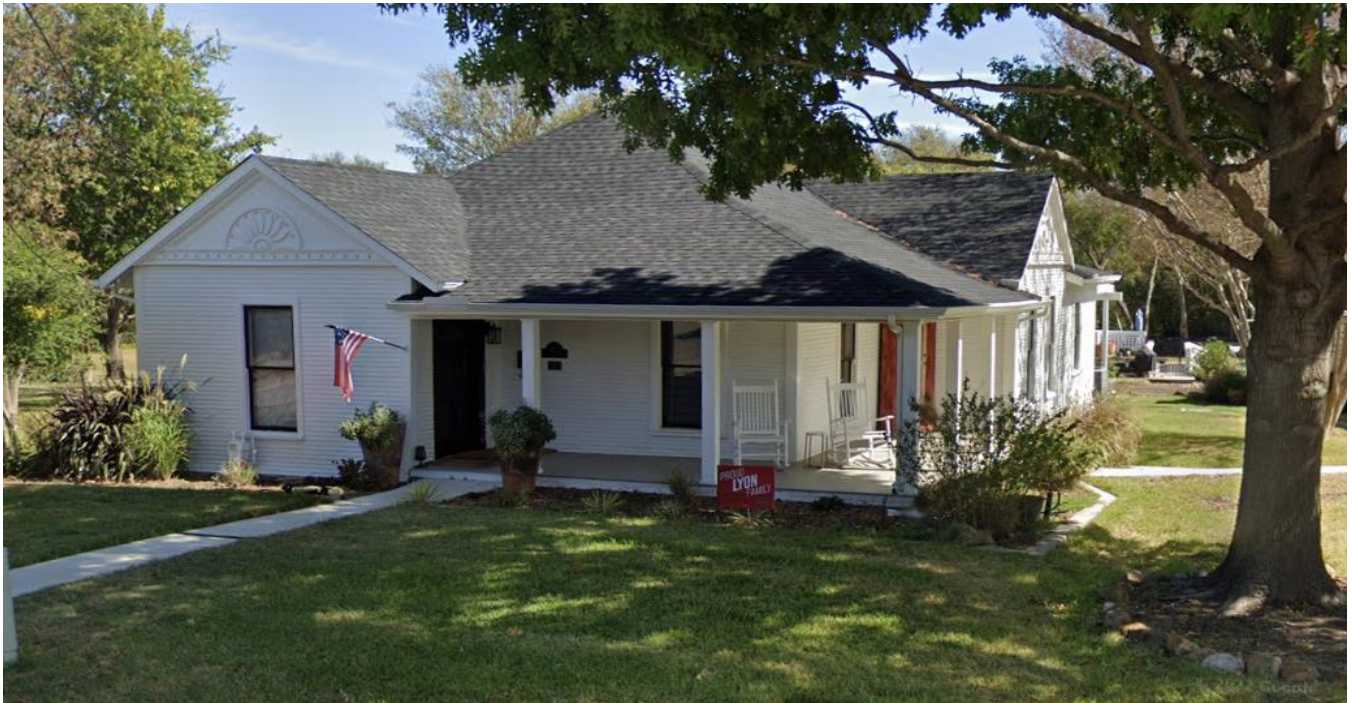
CITY OF ROCKWALL

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401 S. Clark Street



402 S. Clark Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-015

PLANNING AND ZONING DEPARTMENT

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PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

403A S. Clark Street



403B S. Clark Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-015

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



404 S. Clark Street



405 S. Clark Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-015

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



406 S. Clark Street



407 S. Clark Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-015

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



408 S. Clark Street



410 S. Clark Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-015

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



501 S. Clark Street



503 S. Clark Street

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME AND GUEST QUARTERS/SECONDARY LIVING UNIT ON A 0.42-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK 1, SHAW ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Javier Silva of JMS Custom Homes for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision and Guest Quarters/Secondary Living Unit on a 0.42-acre parcel of land identified as Lot 2, Block 1, Shaw Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 403B S, Clark Street, and being more specifically described and depicted in Exhibit 'A' of this ordinance, which herein after shall be referred to as the Subject Property and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision and a Guest Quarters/Secondary Living Unit in accordance with Article 04, Permissible Uses, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, General Residential District Standards, and Subsection 03.09, Single-Family 7 (SF-7) District, of Article 05, District Development Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and

with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *single-family home and guest quarters/secondary living unit* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) The *Guest Quarters/Secondary Living Unit* shall not exceed a maximum of 630 SF.
- 4) The *Guest Quarters/Secondary Living Unit* shall not incorporate full kitchen facilities.
- 5) The *Guest Quarters/Secondary Living Unit* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- 6) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid,

the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5th DAY OF MAY, 2025.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: April 21, 2025

2nd Reading: May 5, 2025

Exhibit 'A':
Location Map

Address: 403B S. Clark Street

Legal Description: Lot 2, Block 1, Shaw Addition



Exhibit 'C':
Building Elevations

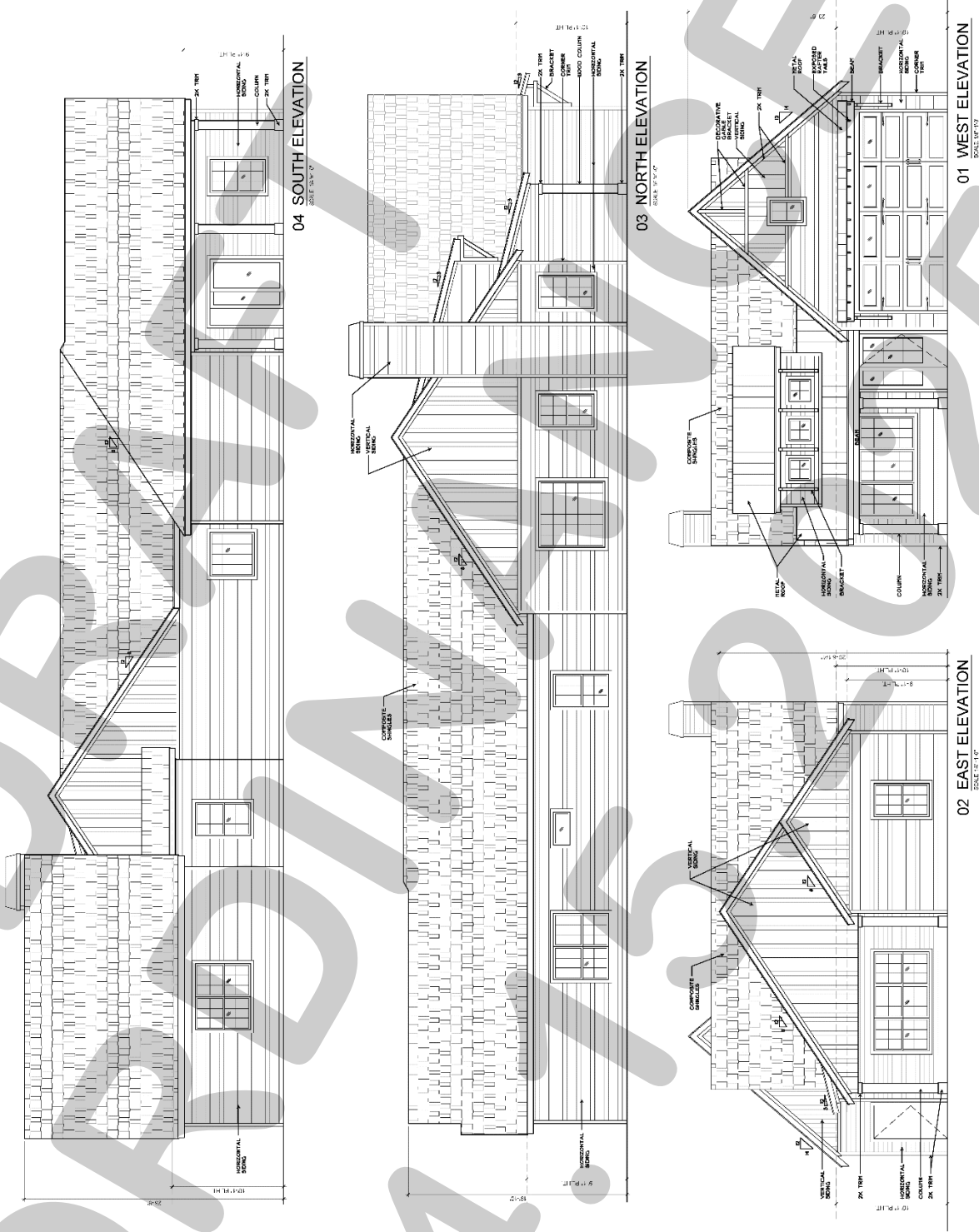
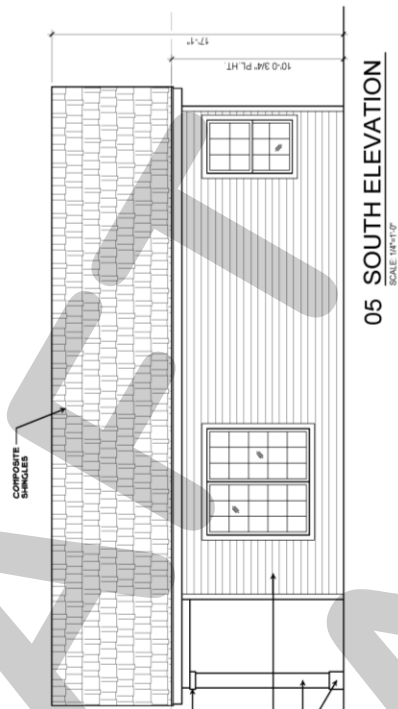
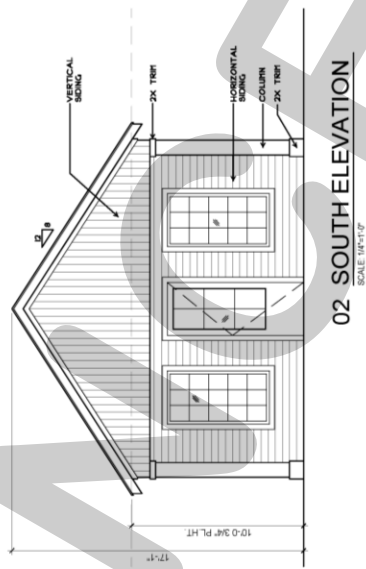


Exhibit 'C':
Building Elevations

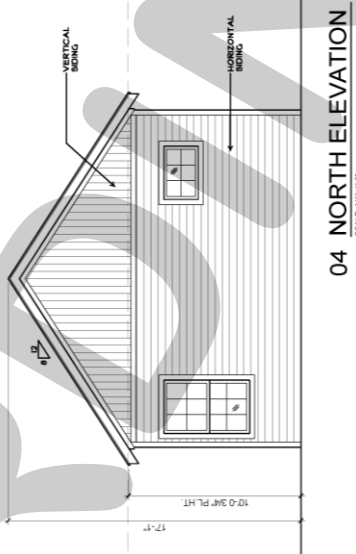


05 SOUTH ELEVATION
SCALE 1/8"=1'-0"

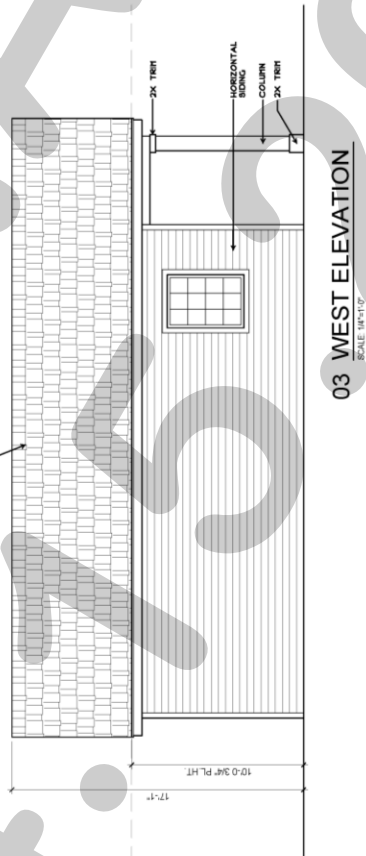


02 SOUTH ELEVATION
SCALE 1/8"=1'-0"

M.I.L SUITE ELEVATIONS



04 NORTH ELEVATION
SCALE 1/8"=1'-0"



03 WEST ELEVATION
SCALE 1/8"=1'-0"



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 15, 2025
APPLICANT: Ryan Joyce
CASE NUMBER: Z2025-016; *Specific Use Permit (SUP) for an Accessory Building at 2201 Sanderson Lane*

SUMMARY

Hold a public hearing to discuss and consider a request by Ryan Joyce for the approval of a Specific Use Permit (SUP) for an *Accessory Building* on a 2.71-acre parcel of land identified as Lot 6, Block B, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) [*Ordinance No. 19-26*] for Single-Family 1 (SF-1) District land uses, addressed as 2201 Sanderson Lane, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on December 1, 2008 by *Ordinance No. 08-66* [*Case No. A2008-002*]. At the time of annexation, the subject property was zoned Agricultural (AG) District. On July 1, 2019, the City Council approved a zoning change [*Case No. Z2019-012; Ordinance No. 19-26*] that establish the subject property as part of Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses. On August 13, 2019, the Planning and Zoning Commission approved a PD site plan [*Case No. SP2019-028*] for the Northgate Subdivision, which consist of 40 residential lots. On August 19, 2019, the City Council approved a preliminary plat [*Case No. P2019-029*] and a master plat [*Case No. P2019-030*] for the Northgate Subdivision. On July 20, 2020, the City Council approved a final plat [*Case No. P2020-022*] that establish the subject property as Lot 6, Block B, Northgate Addition. According to the Rockwall Central Appraisal District (RCAD) there is an existing 7,441 SF single-family that was constructed in 2022 on the subject property.

PURPOSE

The applicant -- *Ryan Joyce* -- is requesting approval of a Specific Use Permit (SUP) for the purpose of allowing the construction of a 5,300 SF *Accessory Building* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at 2201 Sanderson Lane. The land uses adjacent to the subject property are as follows:

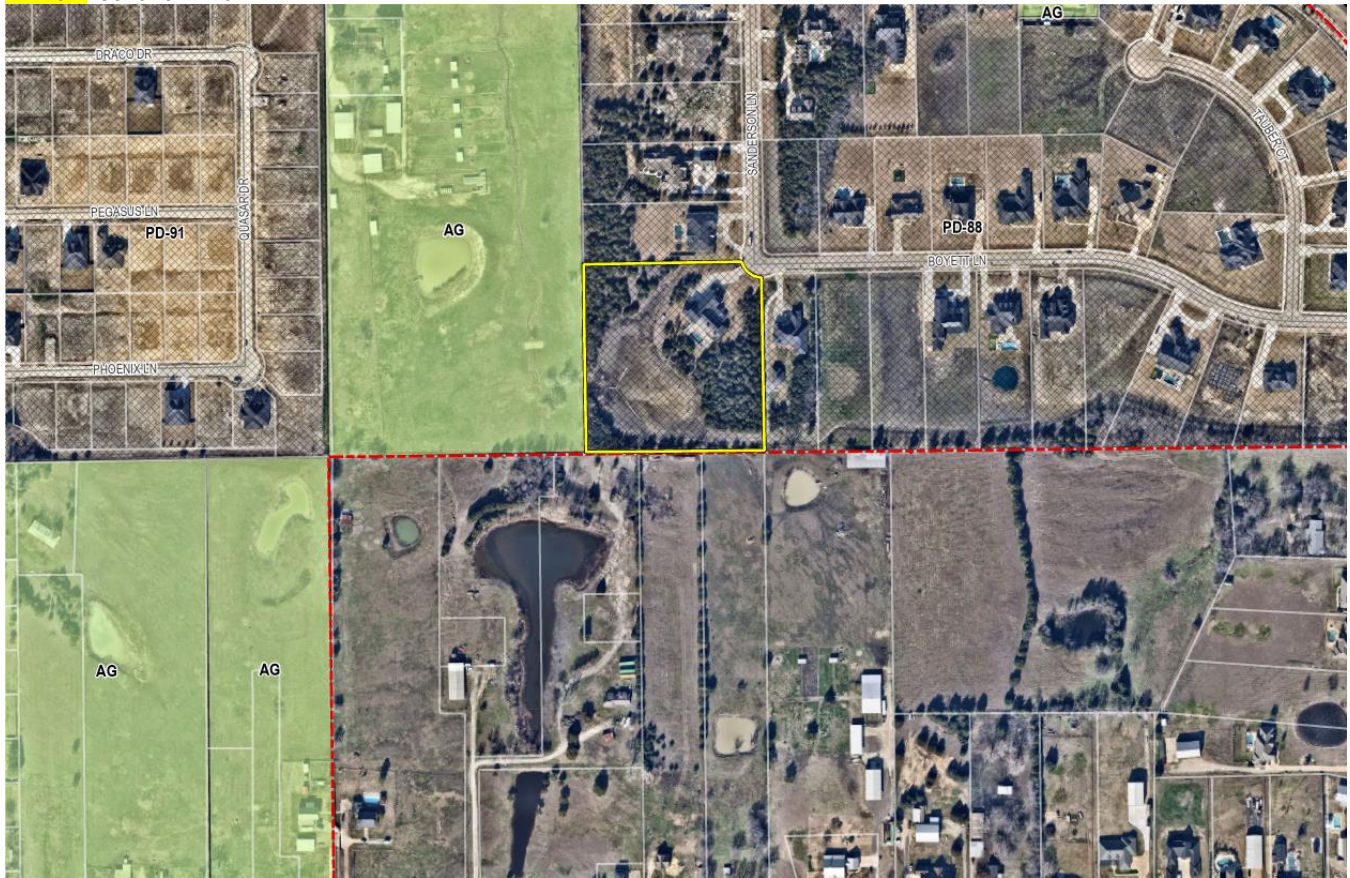
North: Directly north of the subject property are five (5) parcels of land (*i.e. Lots 1-5, Block B, Northgate Addition*) zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses. Beyond this is Clem Road, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is the Mustang Acres Subdivision, which consists of six (6) lots zoned for residential land uses.

South: Directly south of the subject property is the Corporate Limits for the City of Rockwall. Beyond this are six (6) tracts of land situated within Rockwall County.

East: Directly east of the subject property is the remainder of the Northgate Subdivision, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses. Beyond this is the Corporate Limits for the City of Rockwall. Following this is N. Stodghill Road, which is identified as a A4D (*i.e. arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 19.06-acre tract of land (i.e. Tract 24 of the W. M. Dalton Survey, Abstract No. 72) zoned Agricultural (AG) District. Beyond this is the Winding Creek Subdivision, which consists of 132 residential lots zoned Planned Development District 91 (PD-91) for Single-Family 16 (SF-16) District land uses.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE PROJECT

The applicant is requesting approval of a Specific Use Permit (SUP) for an *Accessory Building* on the subject property. The structure is a total of 5,300 SF in size, where the enclosed building is 4,000 SF and the canopy is 1,300 SF. The accessory structure is situated on a concrete foundation, has an approximate total height of 24.42-feet or 19.21-feet at the midpoint of the roof, and incorporates a 3:12 roof pitch. The proposed building elevations provided by the applicant indicate the front façade will be faced in stone, the front columns for the canopy will have stone footings, and there will a stone wainscot on the side facades.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

According to Article 13, *Definitions*, of the Unified Development Code (UDC) a *Residential Accessory Building or Structure* is defined as “(a) supplementary structure or building on a residential property that is secondary to the primary dwelling and serves a supportive or complementary function. These structures are typically used for purposes such as storage, recreation, or housing equipment and are ancillary to the primary residential use of the property.” In addition, according to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) an *Accessory Building* in a Single-Family (SF-1) District is permitted by-right up to 144 SF and 15-feet in height. In this case, the proposed *Accessory Building* is exceeding both the size and height requirements. The proposed *Accessory Building* is approximately 5,300 SF in size and 24.42-feet in total height. That being said, the height of an *Accessory Building* with a pitched roof is taken at the midpoint of the roof pitch. Given this, the height of the proposed *Accessory Building* is 19.21-feet.

According to Planned Development District 88 (PD-88) [Ordinance No. 19-26], “(t)he minimum masonry requirement for the exterior façades of all buildings shall be 80%” and “(a) minimum of an 8:12 roof pitch is required on all structures...” In this case,

the applicant is requesting to utilize stone on the front façade of the *Accessory Building*, provide a stone footing for the front columns, provide a stone wainscot on the sides of the *Accessory Building*, and utilize a 3:12 roof pitch. The applicant has indicated that the lower roof pitch is being utilized in order to keep the "... height of the building below the tree line." The City Council pending a recommendation from the Planning and Zoning Commission shall consider the material exception and roof pitch exception as part of the Specific Use Permit (SUP) request.

In summary, the applicant is requesting approval of an *Accessory Building* that exceeds the maximum permissible size by 5,156 SF, exceeds the maximum height by 4.21-feet, utilizes less than 80% masonry materials, and utilizes less than an 8:12 roof pitch. If the applicant's Specific Use Permit (SUP) is approved, staff has included operational conditions in the Specific Use Permit (SUP) ordinance that tie down the size, height, and general architecture of the proposed structure. With this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On March 18, 2025, staff mailed 24 property owner notifications to property owners and occupants within 500-feet of the subject property. There were no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has not received any notices in reference to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct an *Accessory Building* on the subject property, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Accessory Building* shall generally conform to the Site Plan as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance; and,
 - (b) The *Accessory Building* shall generally conform to the Building Rendering as depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance; and,
 - (c) The *Accessory Building* shall not exceed a maximum size of 5,400 SF; and,
 - (d) The *Accessory Building* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance; and,
 - (e) No additional *Accessory Buildings* may be constructed on the *Subject Property*.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2} 5.22
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2201 Sanderson Ln, Rockwall, TX

SUBDIVISION North Gate

LOT 6 BLOCK B

GENERAL LOCATION intersection of Sanderson Ln and Boyett st.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD

CURRENT USE SF

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Michael Ryan Joyce

APPLICANT

CONTACT PERSON Ryan Joyce

CONTACT PERSON

ADDRESS 2201 Sanderson Ln
Rockwall, TX

ADDRESS

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP

PHONE 512-985-6280

PHONE

E-MAIL ryan@michaeljoyceproperties.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael R Joyce [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

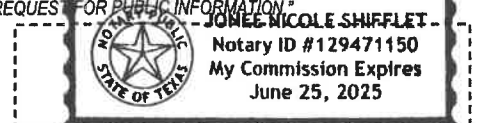
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 278.30 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF March 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF March 2024

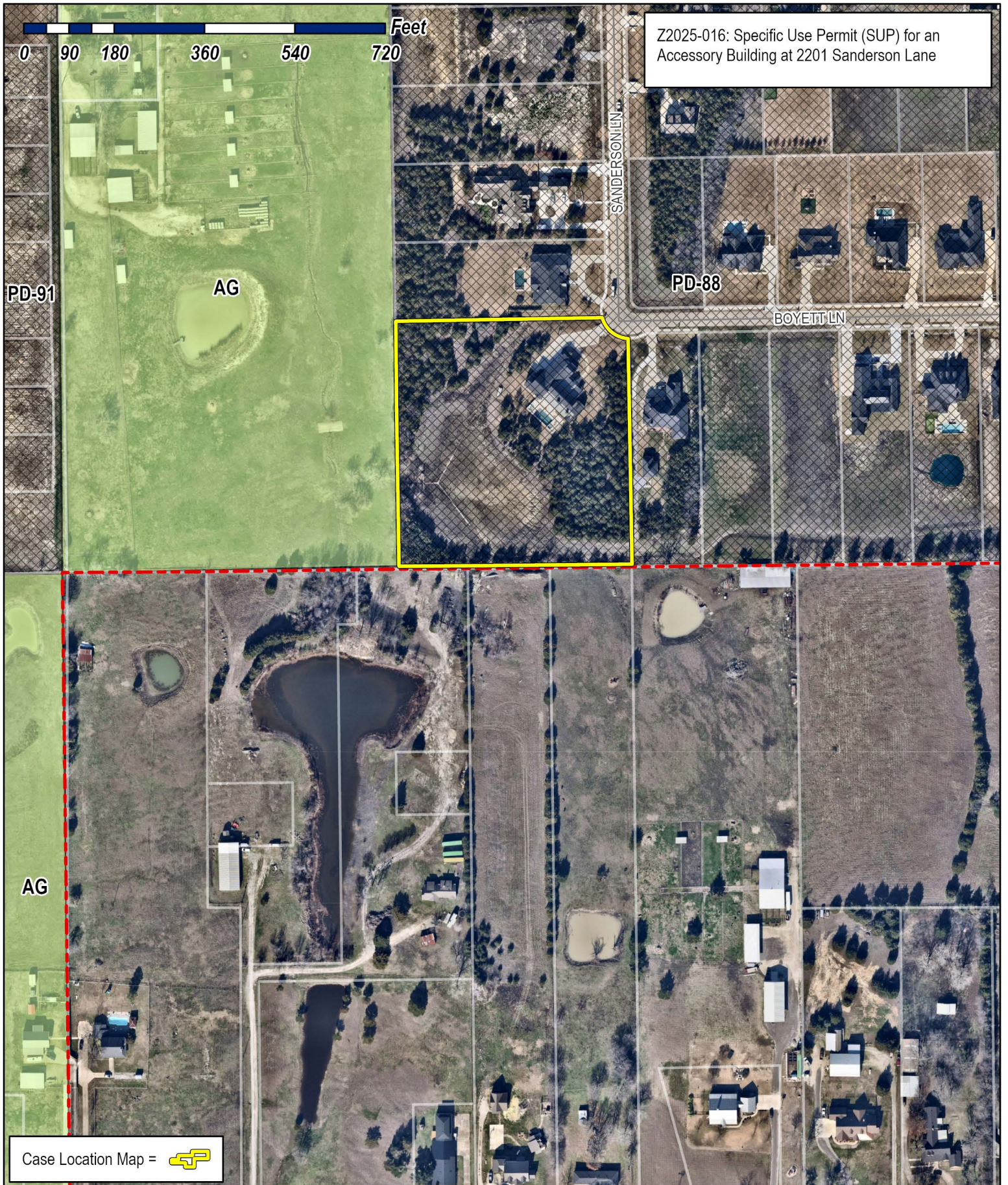
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Joni Nicole Shifflet



MY COMMISSION EXPIRES 6-25-25



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

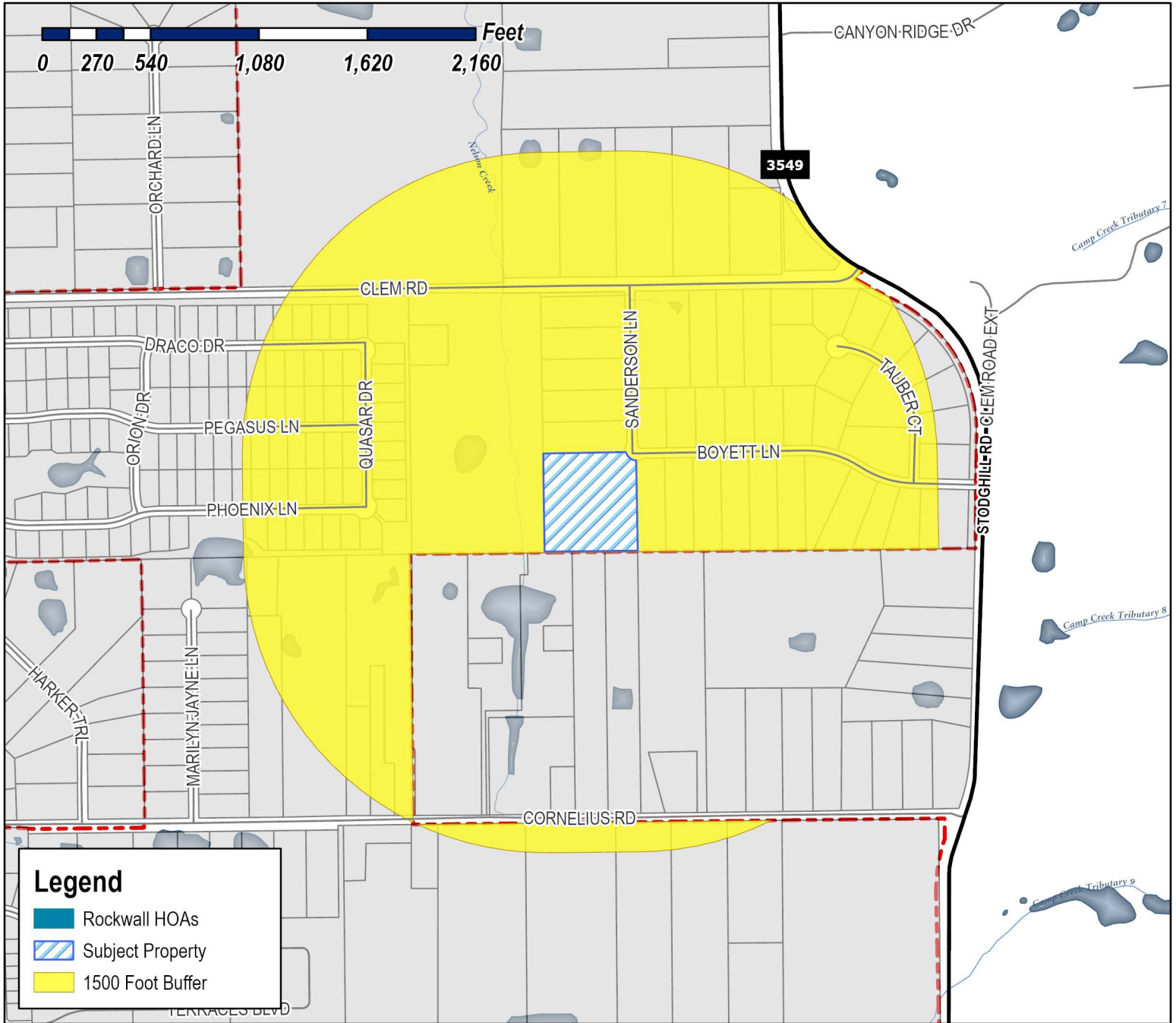




City of Rockwall

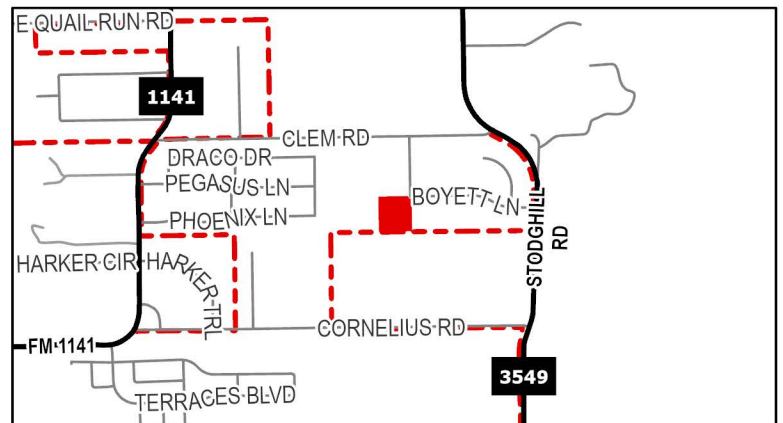
Planning & Zoning Department
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Case Number: Z2025-016
Case Name: SUP for an Accessory Building
Case Type: Zoning
Zoning: Planned Development District 88 (PD-88)
Case Address: 2201 Sanderson Lane

Date Saved: 3/14/2025
 For Questions on this Case Call (972) 771-7745

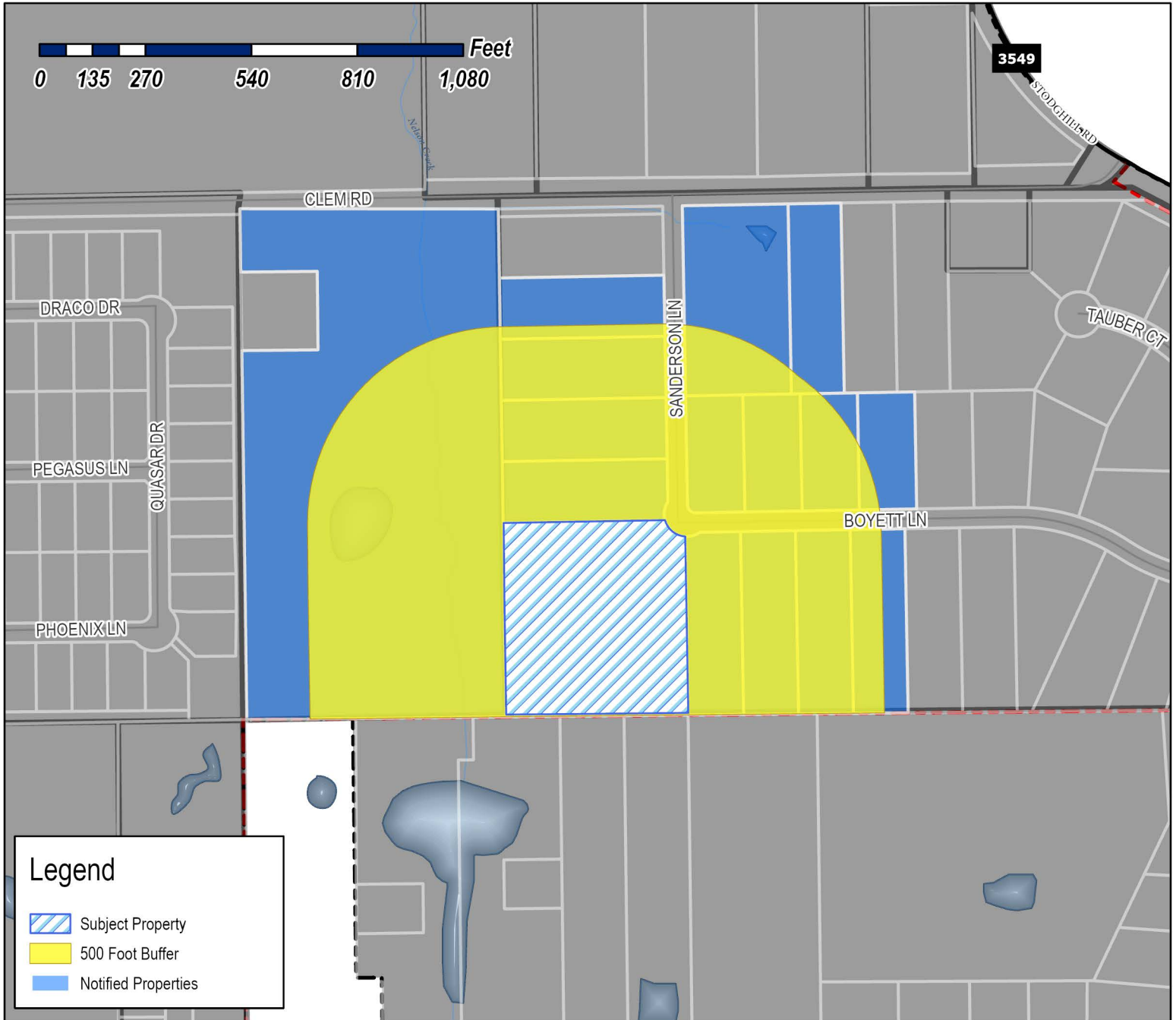




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

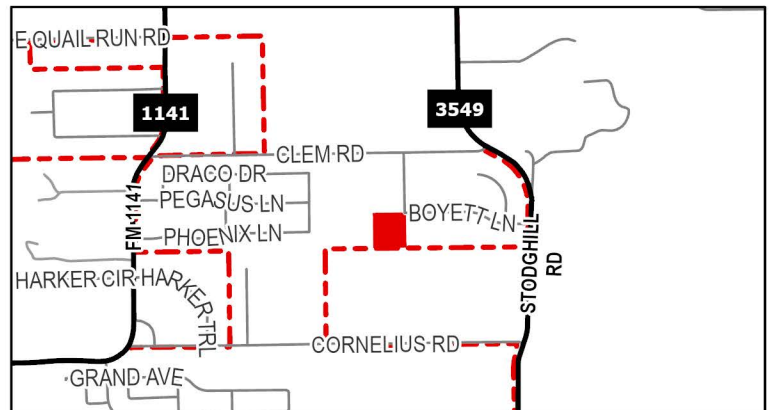
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Case Number: Z2025-016
Case Name: SUP for an Accessory Building
Case Type: Zoning
Zoning: Planned Development District 88 (PD-88)
Case Address: 2201 Sanderson Lane

Date Saved: 3/14/2025

For Questions on this Case Call: (972) 771-7745



MCCALLUM CRAIG WILLIAM
1983 N STODGHILL RD
ROCKWALL, TX 75087

JOYCE MICHAEL RYAN AND MEREDITH MCLEROY
2201 SANDERSON LN
ROCKWALL, TX 75087

SANDERSON PERRY AND AMY
2207 SANDERSON LN
ROCKWALL, TX 75087

RESIDENT
2213 SANDERSON LN
ROCKWALL, TX 75087

RESIDENT
2219 SANDERSON LN
ROCKWALL, TX 75087

RESIDENT
2225 SANDERSON LN
ROCKWALL, TX 75087

OWNBY MITCH AND SANDRA
255 COUNTRY CLUB DR
HEATH, TX 75032

WALRAVEN KEITH & MEREDITH
402 FLORENCE DR
FATE, TX 75087

RESIDENT
611 CLEM RD
ROCKWALL, TX 75087

RECHTIENE JOSEPH S AND LARISA A
619 ELEANOR DRIVE
FATE, TX 75087

MASON RICHARD L
682 CANNON DRIVE
ROCKWALL, TX 75087

BATES CHARLES
7540 EDNA COURT #5509
PLANO, TX 75024

COUCH DAVID AND JULIE
803 BOYETT LN
ROCKWALL, TX 75087

RESIDENT
804 BOYETT LN
ROCKWALL, TX 75087

RESIDENT
807 BOYETT LN
ROCKWALL, TX 75087

PAYNE ADAM J AND ELIZABETH A
808 BOYETT LN
ROCKWALL, TX 75087

RESIDENT
813 BOYETT LN
ROCKWALL, TX 75087

WOLFF RYAN & RACHEL
814 BOYETT LN
ROCKWALL, TX 75087

RESIDENT
819 BOYETT LN
ROCKWALL, TX 75087

MEREDITH WILLIAM AND AMBER
820 BOYETT LN
ROCKWALL, TX 75087

TUCKER JANA
835 CLEM RD
ROCKWALL, TX 75087

CONFIDENTIAL
89 Stone Hinge Dr
Fairview, TX 75069

STANLEY STEVEN B AND ROBIN C
891 CLEM RD
ROCKWALL, TX 75087

NAKAMURA DEREK & CAITLYN
9620 COLQUITT RD
TERRELL, TX 75160

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-016: Specific Use Permit (SUP) for an Accessory Building

Hold a public hearing to discuss and consider a request by Ryan Joyce for the approval of a *Specific Use Permit (SUP)* for an *Accessory Building* on a 2.71-acre parcel of land identified as Lot 6, Block B, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) [Ordinance No. 19-26] for Single-Family 1 (SF-1) District land uses, addressed as 2201 Sanderson Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 15, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 21, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 21, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-016: Specific Use Permit (SUP) for an Accessory Building

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

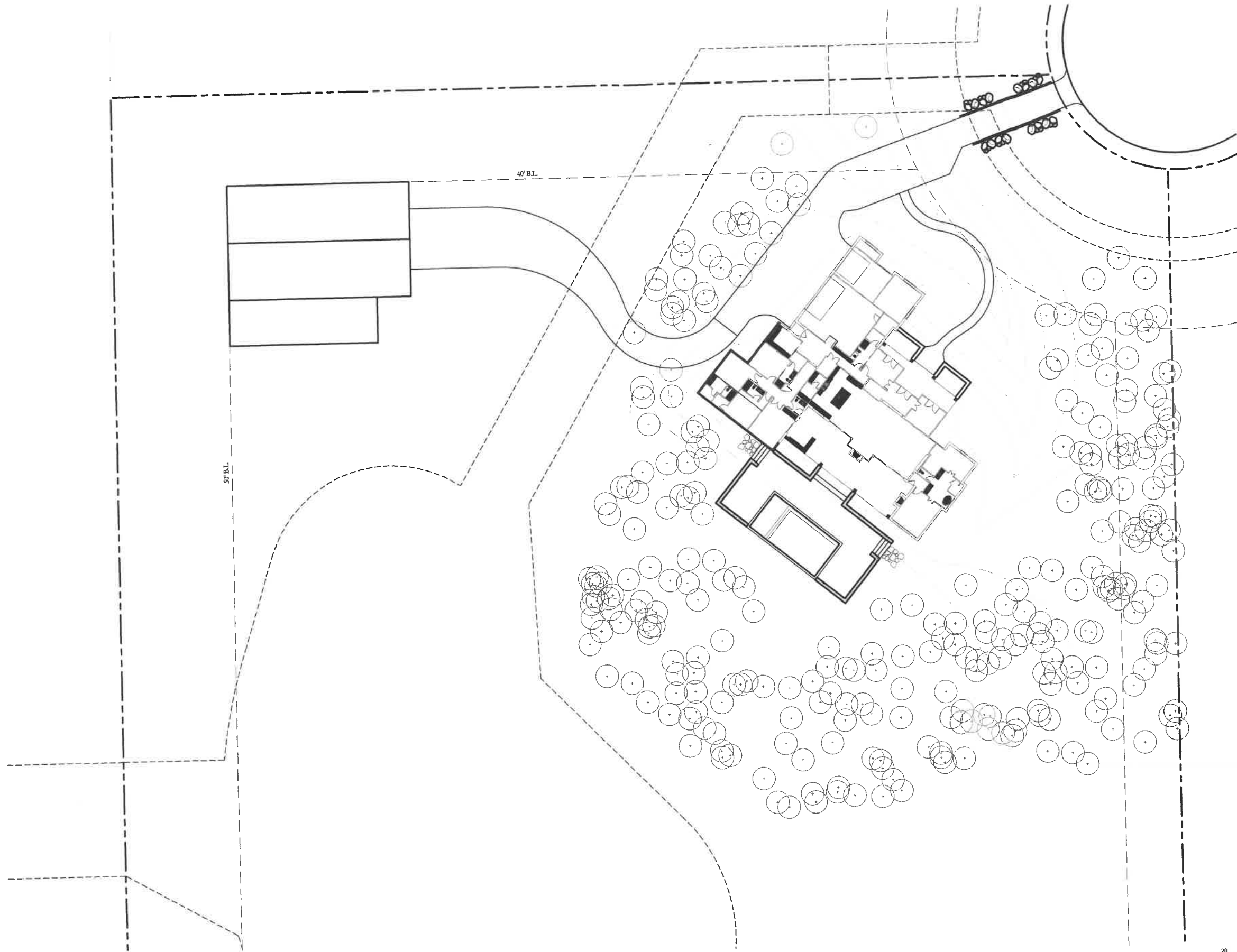
I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

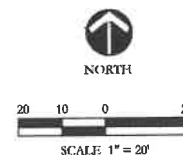
Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



2201 Sanderson Ln







Endwall B
50'





CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 88 (PD-88) AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR AN ACCESSORY BUILDING ON A 5.222-ACRE PARCEL OF LAND IDENTIFIED AS LOT 6, BLOCK B, NORTHGATE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Ryan Joyce for the approval of a *Specific Use Permit (SUP)* for an *Accessory Building* on a 5.222-acre parcel of land identified as Lot 6, Block B, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88), addressed as 2201 Sanderson Lane, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 88 (PD-88) and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 88 (PD-88) and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for an *Accessory Building* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 88 (PD-88); and Subsection 03.01, *General Residential Standards*, and Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*], and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development of the *Accessory Building* shall generally conform to the Site Plan as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance; and,
- (2) The *Accessory Building* shall generally conform to the Building Rendering as depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance; and,
- (3) The *Accessory Building* shall not exceed a maximum size of 5,400 SF; and,
- (4) The *Accessory Building* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance; and,
- (5) No additional *Accessory Buildings* may be constructed on the *Subject Property*.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- (1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5th DAY OF MAY, 2025.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: April 21, 2025

2nd Reading: May 5, 2025

Exhibit 'A'
Legal Description

Address: 2201 Sanderson Lane

Legal Description: Lot 6, Block B, Northgate Addition

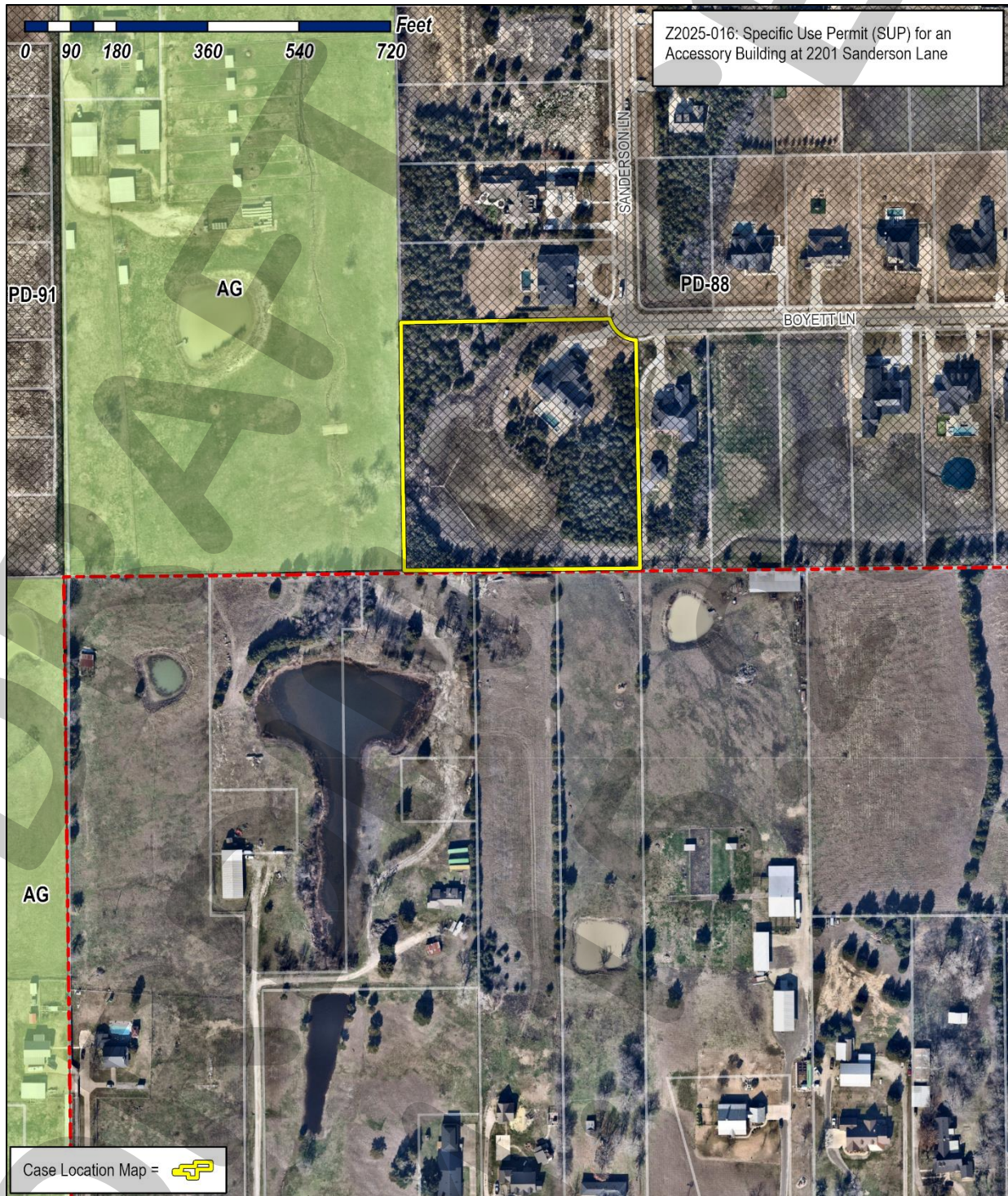


Exhibit 'B'
Site Plan

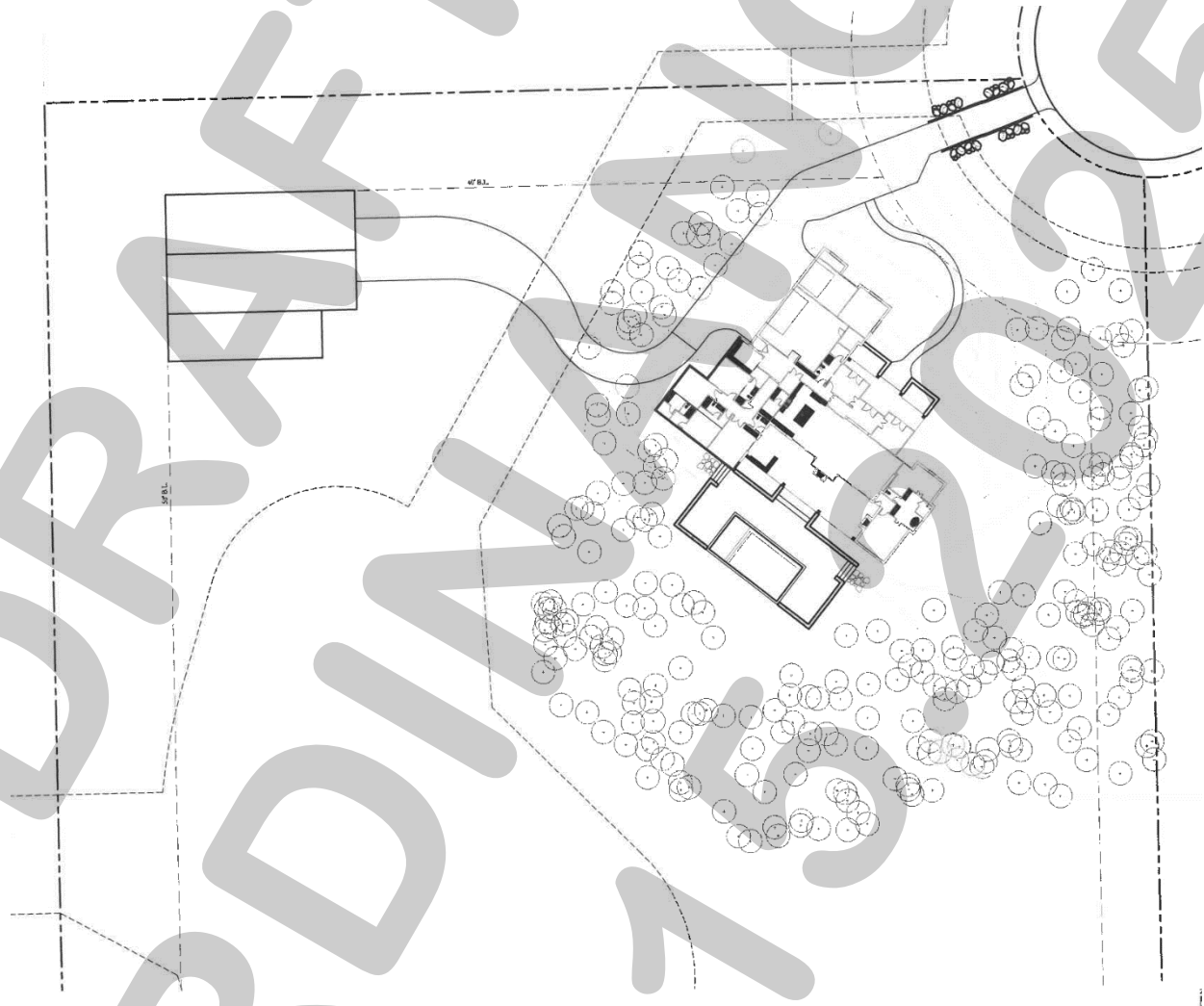


Exhibit 'C':
Building Rendering





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 15, 2025
APPLICANT: Drew Donosky; *Claymoore Engineering*
CASE NUMBER: SP2025-011; *Site Plan for 2301 SH-276*

SUMMARY

Discuss and consider a request by Drew Donosky of Claymoore Engineering for the approval of a Site Plan for the expansion of an existing *Mini-Warehouse Facility* on a 5.00-acre tract of land identified as Tract 2-6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) [*Ordinance No. 25-12*] for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2301 SH-276, and take any action necessary.

BACKGROUND

According to the Rockwall County Appraisal District (RCAD) the existing *Mini-Warehouse Facility* was constructed in 1997, prior to the date of annexation. The subject property was annexed by the City Council on July 21, 1997 by *Ordinance No. 97-14* [*Case No. A1997-001*]. At the time of annexation, the subject property was zoned Agricultural (AG) District. On March 1, 1999, the City Council approved a zoning change [*Ordinance No. 99-05*] from Agricultural (AG) District to Planned Development District 46 (PD-46) for Commercial (C) District land uses, with *Mini-Warehouse* being permitted *by-right* on the subject property. Following this zoning change the Planned Development District 46 (PD-46) zoning ordinance was amended twice [*Ordinance No. 21-32 & 25-12*]; however, these amendments did not change the requirements the subject property was subject to.

PURPOSE

On March 14, 2025, the applicant -- *Drew Donosky of Claymoore Engineering* -- submitted an application requesting the approval of a Site Plan for the purpose of allowing the expansion of an existing *Mini-Warehouse Facility* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 2301 SH-276. The land uses adjacent to the subject property are as follows:

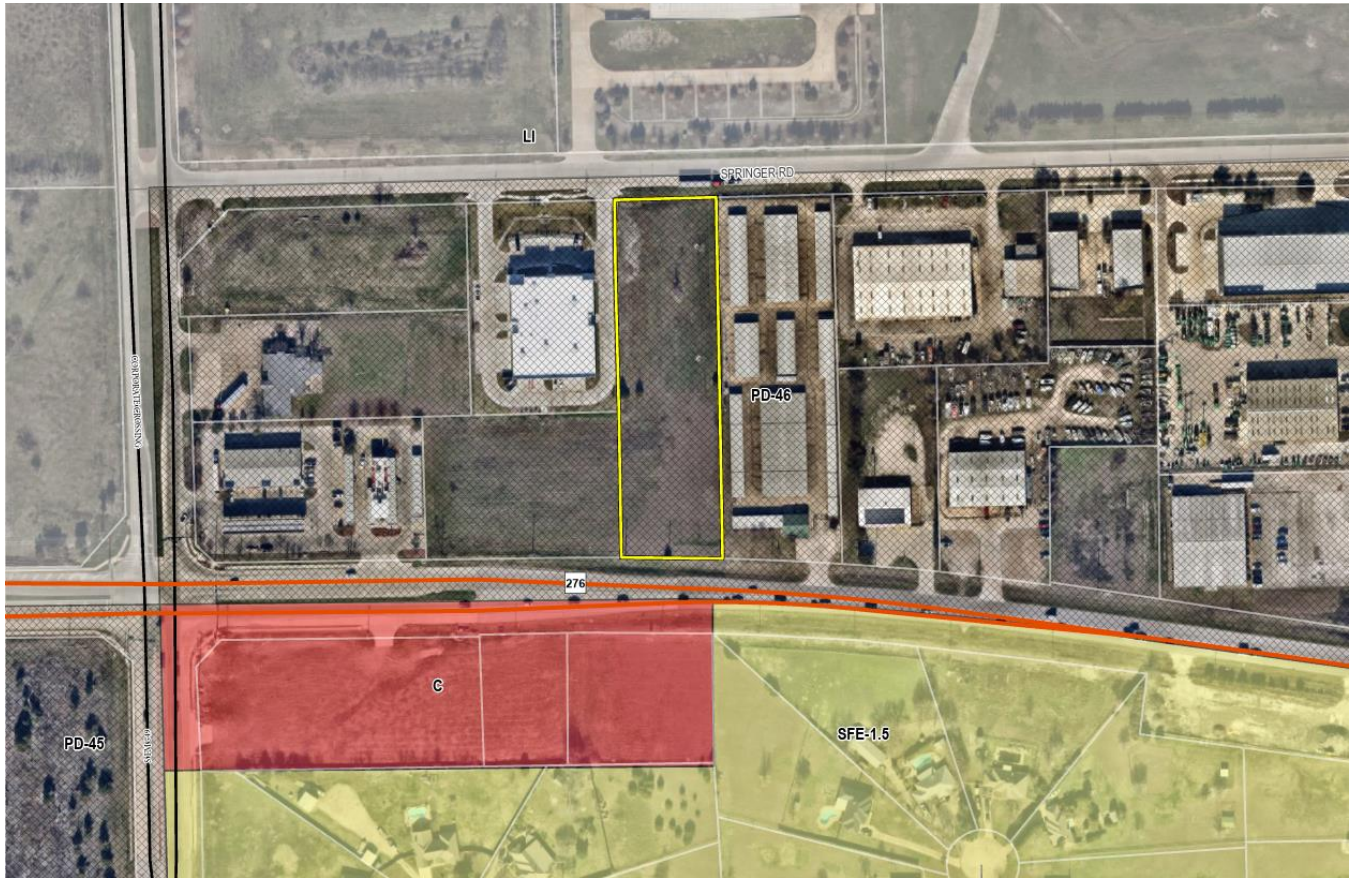
North: Directly north of the subject property is Springer Road, which is identified as a M4D (*i.e. major collector, four [4] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 12.00-acre parcel of land (*i.e. Lot 3, Block B, Rockwall Technology Park Phase 2 Addition*) developed with a light-industrial facility, zoned Light Industrial (LI) District. Beyond this is Discovery Boulevard, which is identified as a M4D (*i.e. major collector, four [4] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is SH-276, which is identified as a P6D (*i.e. principal, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is the Sterling Farms Subdivision, which consists of 48 lots on 77.74-acres. This subdivision was established on April 28, 1997 and is zoned Single-Family Estate 1.5 (SFE-1.5) District.

East: Directly east of the subject property are several properties that make up the remainder of Planned Development 46 (PD-46). These properties are developed with primary light industrial uses (i.e. Warehouse, Heavy Equipment Rental, Mini-Warehouse), which were established before the time of annexation. Following this is a vacant 56.5033-acre parcel of land (i.e. Lot 1, Block C, Rockwall Technology Park Phase V Addition) zoned Light Industrial (LI) District.

West: Directly west of the subject property are five (5) tracts of land (i.e. Lots 1-2, Block A, Interstate Classic Cars Addition; Lot 1, Block A, Pannell Addition; Lot 2, Block A, Subway Gateway Health Food Store Addition; Tract 2 of the J. A. Ramsey Survey, Abstract No. 186) zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses. Following this is Corporate Crossing [FM-549], which is identified as a A4D (i.e. arterial, four [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



DENSITY AND DIMENSIONAL REQUIREMENTS

According to Exhibit 'C', PD Development Standards, of Planned Development District 46 (PD-46) [Ordinance No. 25-12], a Mini-Warehouse Facility is permitted by-right on the subject property, which is identified as Tract 5 within the ordinance. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within Planned Development District 46 (PD-46) and the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the items noted in the Variances and Exceptions Requested by the Applicant section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

Ordinance Provisions	Zoning District Standards	Conformance to the Standards
Minimum Lot Area	10,000 SF	X=4.98-Acres; In Conformance

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>X=360.70-feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=583.97-feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>X>15-feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X>10-feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X>10-feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet</i>	<i>X=20.5-feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>X=42.91%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>11 Required Spaces</i>	<i>X=13; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>X=15.4%; Non-Conforming</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X=84.6%; In Conformance</i>

TREESCAPE PLAN

The treescape plan provided by the applicant indicates that the development will result in the removal of four (4) caliper inches of trees. Based on the landscape plan provided by the applicant, the development is proposing to plant 56 caliper inches or 14 canopy trees on-site, which will satisfy the tree mitigation requirements of the Unified Development Code (UDC).

CONFORMANCE WITH THE CITY'S CODES

The existing *Mini-Warehouse Facility* was constructed in 1997 before the subject property was annexed into the City of Rockwall. Given the age of the existing facility and that it was constructed outside of the city limits, many aspects of the subject property are considered legally non-conforming. One such aspect is that the subject property takes access off of SH-276. According to Subsection 02.03(J)(1), *Wholesale, Distribution, and Storage Land Use*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), *Mini-Warehouse Facilities* shall not take "...direct access from FM-740, SH-205, SH-66, SH-276, FM-3097, FM-552, FM-549 and John King Boulevard." In this case, the applicant is requesting approval of an additional 45,755 SF *Mini-Warehouse* building that will utilize the existing drive off of SH-276. Given this the applicant is requesting to increase this non-conformity.

According to Subsection 06.02(C), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), cementitious materials are described as being "...stucco, cementitious lap siding, or similar materials approved by the Director of Planning and Zoning or his/her designee..." In this case, the applicant is requesting to utilize Board-and-Batten siding. Staff is requesting the Planning and Zoning Commission -- *pending a recommendation from the Architectural Review Board (ARB)* -- determine whether the use of Board-and-Batten siding is appropriate with this request.

The proposed site plan generally conforms to the *General Commercial District Standards* and the *General Overlay District Standards*, stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variance(s) and exception(s) being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variance(s) and exception(s):

(1) Conditional Land Use Standards.

- (a) *Unit Count.* According to Subsection 02.03(J)(1), *Wholesale, Distribution, and Storage Land Use*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), "(t)he number of storage units per acre shall not exceed 125, the minimum number of storage units shall be ten (10), and the maximum site area shall be five (5) acres." In this case, the subject is five (5) acres and would be permitted a maximum of 625 storage units; however, the applicant is requesting 706 storage units or 81 additional storage units. This will require an exception from the Planning and Zoning Commission.

- (b) Landscaping. According to Subsection 02.03(J)(1), *Wholesale, Distribution, and Storage Land Use*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), "(t)he front, side and rear building set back areas shall be landscaped. Landscaping should be clustered, creating interesting relief from the long repetitive nature of self-storage buildings." In this case, the subject property will have landscape buffers with landscaping on the north and south side given that the subject property is bound by SH-276 and Springer Road. This leaves the setback along the west property line without any landscaping based on the landscape plan provided by the applicant. This will require an exception from the Planning and Zoning Commission.
 - (c) Screening. According to Subsection 02.03(J)(1), *Wholesale, Distribution, and Storage Land Use*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), "(a)ll screening fences shall be wrought iron with landscaping/living screen or masonry walls in accordance with the screening requirements..." In this case, the applicant is proposing a wrought iron fence around the proposed expansion; however, there is not landscape/living screen being proposed in conjunction with the wrought iron fence. This will require an exception from the Planning and Zoning Commission.
 - (d) Roof Design. According to Subsection 02.03(J)(1), *Wholesale, Distribution, and Storage Land Use*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), *Mini-Warehouse Facilities* shall utilize pitched roof systems with "...a minimum pitch of 1:3 and be constructed with a metal standing seam." In this case, the applicant is proposing a parapet roof system. This will require an exception from the Planning and Zoning Commission.
- (2) Architectural Standards. According to Subsection 06.02(C), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a)ll buildings that are less than 50,000 SF shall be designed to incorporate a minimum of four (4) architectural elements..." In this case, the applicant is not providing four (4) architectural elements. This will require a variance from the Planning and Zoning Commission.
- (3) Landscape Requirements.
- (a) Landscape Percentage. According to Subsection 05.03, *Landscape Requirements*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), all properties zoned Commercial (C) District are required to have 20% of the property be landscaped. In this case, the applicant is proposing 15.4% landscaped area or 4.6% less than the requirement. This will require an exception from the Planning and Zoning Commission.
 - (b) Landscape Buffer. According to Subsection 05.01, *Landscape Buffers*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), in addition to the berm and shrubs planting requirements, all landscape buffers shall incorporate "... one (1) canopy tree and one (1) accent tree shall be required to be planted in the required landscape buffer per 50-linear feet of frontage along the perimeter collector street or arterial roadway." In this case, the applicant is proposing to plant the correct number of trees but only accents trees. This will require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. At this time the applicant is proposing the following compensatory measures: [1] relocation of a civil warning siren, [2] increased tree caliper size, [3] increased tree plantings, [4] removal of existing barb wire chain link fence, and [5] bury the existing power lines along SH-276. Staff should note that only compensatory measures 1, 2, and 4 are considered compensatory in nature, and based on the number of exceptions being requested the applicant would need 14 compensatory measures. In addition, in review of the landscape plan, staff did not identify any landscaping above and beyond what is required, and the power lines along SH-276 are required to be buried per the *General Overlay District Requirements*. All this being said, requests for exceptions and variances to the *General Standards* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the Technology District and is designated for Commercial/Retail land uses. According to the *District Strategies* this land use designation should "... support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures." That being said, the subject property is adjacent to the Rockwall Technology Park to the north and other transitional light industrial properties to the east -- *that are designated for Commercial/Retail land uses* --, with no direct residential adjacency. Additionally, the *District Strategies* state that the properties near SH-276 are transitioning and should "...transition to neighborhood/convenience centers in the future." In this case, the proposed site plan for a an additional *Mini-Warehouse Building* expands a land use that is atypical for a Commercial/Retail designation. That being said, Planned Development District 46 (PD-46) allows this property to have the *Mini-Warehouse Facility* as a *by-right* land use. The Planning and Zoning Commission is tasked with determining whether it is appropriate for the expansion of an atypical Commercial/Retail land use bounded by transitional light industrial properties to the east, despite the *Mini-Warehouse Facility* land use being *by-right*.

In addition, the proposed changes to the subject property either help further or hinder the following goals and objectives contained in the OURHometown Vision 2040 Comprehensive Plan:

- (1) CH. 07 | Goal 05: "Allow only high-quality buildings that are constructed for the long-term value of the community, are easily adaptable to the changing market conditions, and that reflect a sense of permanence and public pride." In this case, a *Mini-Warehouse Facility* does not appear to be easily adaptable to the changing market conditions, except for market changes within the self-storage industry.
- (2) CH. 07 | Goal 05: In addition to the above, Policy 4 within Goal 05 states that development should "(i)increase the amount of permeable surface area (*i.e. landscaping and greenspace*) by reducing the amount of concrete or other non-permeable surfaces used for parking areas." In this case, the applicant is requesting an exception to landscape less than the 20% required within a Commercial (C) District.
- (3) CH. 08 | Goal 04: Policies 01 and 02 indicate that all non-residential buildings should "contain a minimum of 20% stone on every façade" and be "architecturally finished on all four (4) sides with the same materials, detailing and features." In this case, the applicant satisfies each of the policies, which are requirements set forth by the *General Overlay District Standards* within the Unified Development Code (UDC).

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On March 25, 2025, the Architecture Review Board reviewed the applicant's building elevations and made a recommendation to meet the requirements of the UDC.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the expansion of an existing *Mini-Warehouse Facility* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Gollad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)¹ & ²
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS	2301 TX-276 Rockwall, TX 75032		
SUBDIVISION	A0186	LOT	BLOCK
GENERAL LOCATION			

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING	PD-46	CURRENT USE	Storage Facility	
PROPOSED ZONING	PD-46	PROPOSED USE	Storage Facility	
ACREAGE	4.98	LOTS [CURRENT]	1	LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3187 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

<input type="checkbox"/> OWNER	Prism Leasing LTD	<input checked="" type="checkbox"/> APPLICANT	Claymoore Engineering
CONTACT PERSON		CONTACT PERSON	Drew Donosky
ADDRESS	625 Sunset Hill Dr	ADDRESS	1903 Central Dr # 406
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Bedford, TX 76021
PHONE		PHONE	817-281-0572
E-MAIL		E-MAIL	drew@claymooreeng.com

NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ROLAND COBB [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$_____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

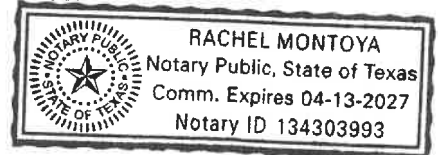
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF March, 2025

OWNER'S SIGNATURE Roland Cobb

Rachel Montoya

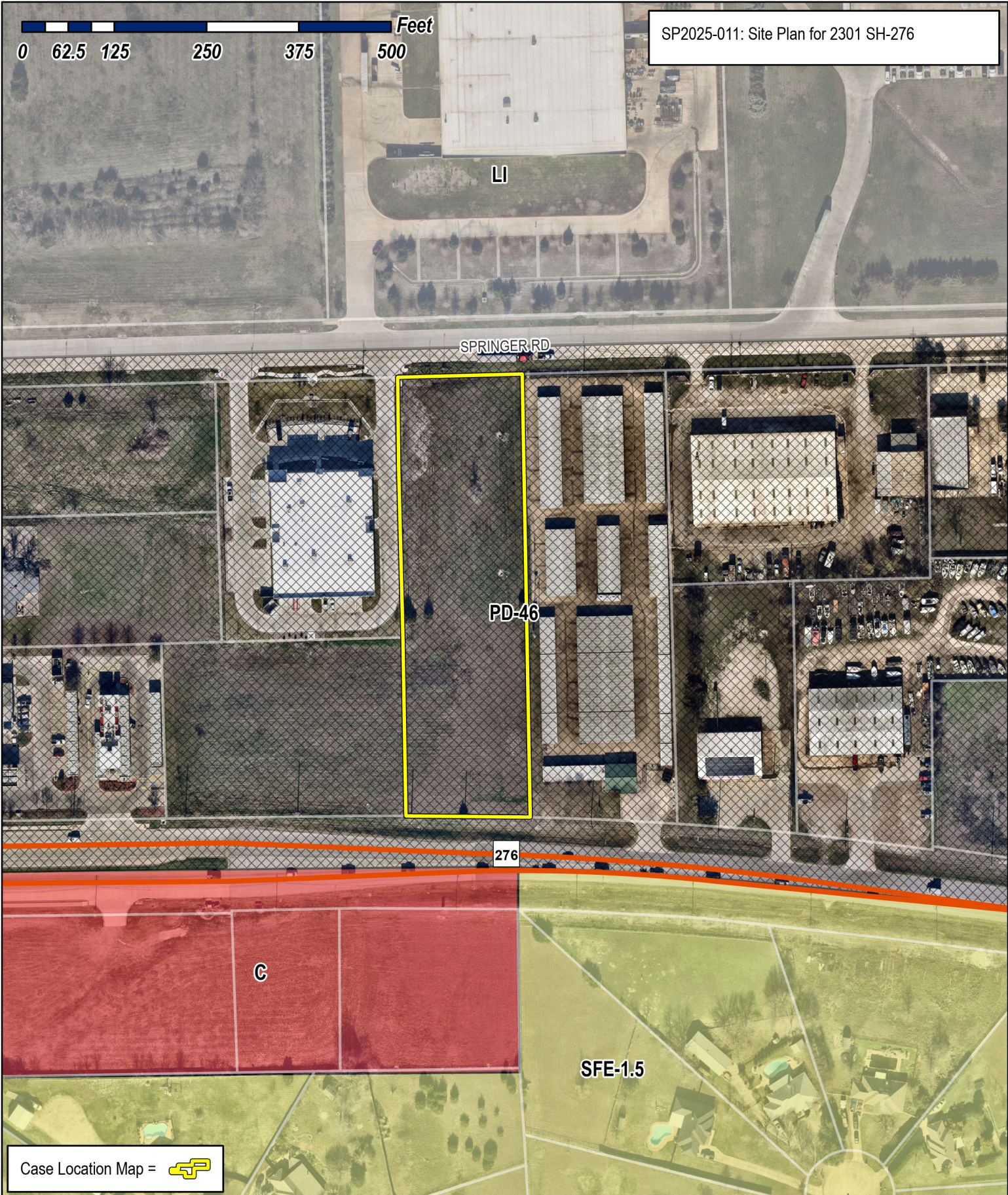
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____


MY COMMISSION EXPIRES 4-13-27



0 62.5 125 250 375 500 Feet

SP2025-011: Site Plan for 2301 SH-276



Case Location Map = 



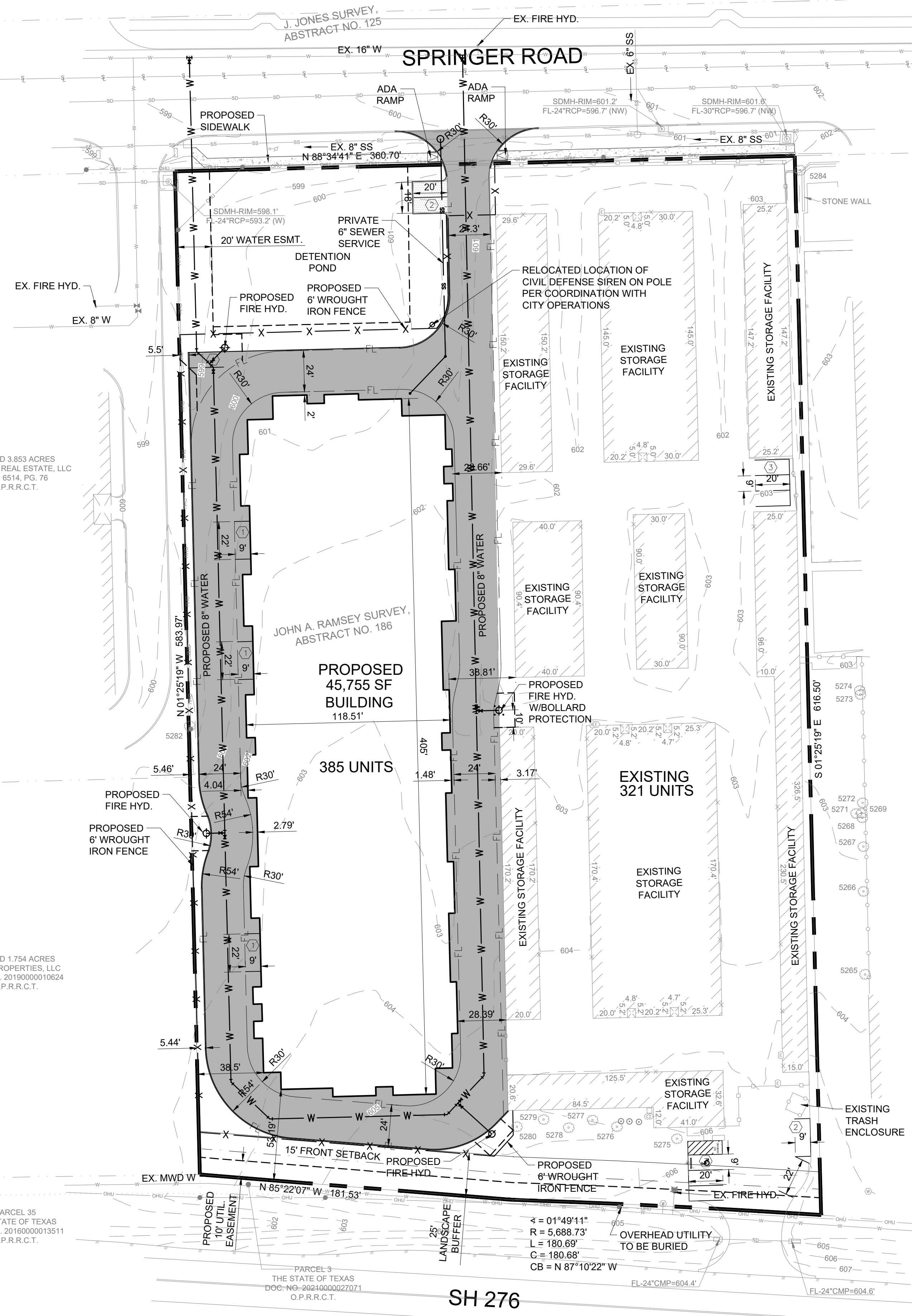
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

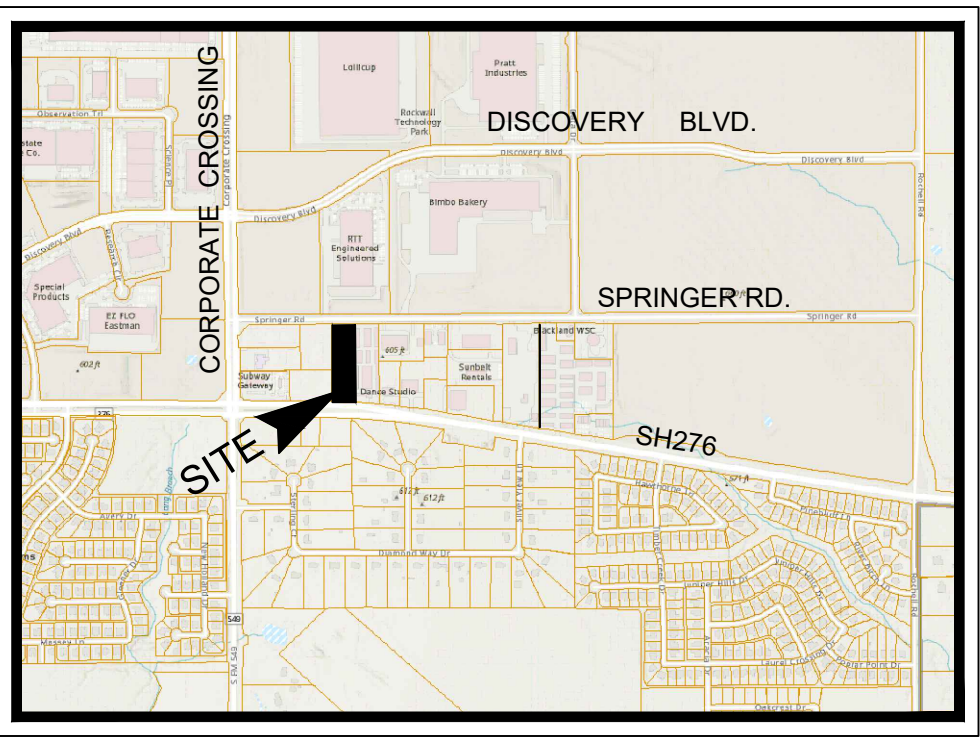
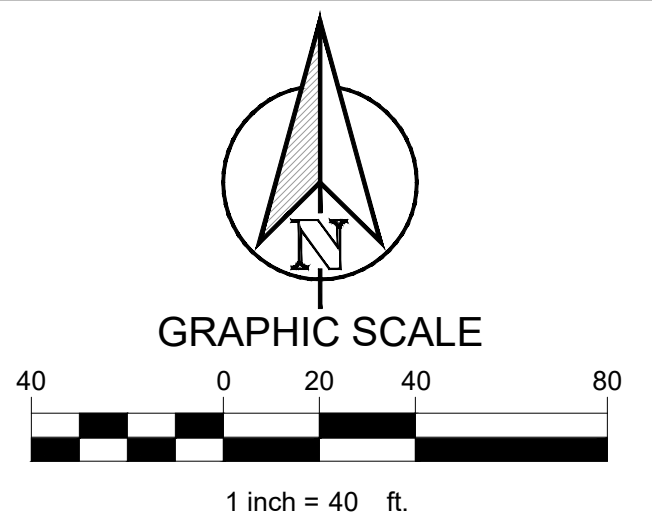


Z:\PROJECTS\PROJECTS\2024-119 MONTEFORT CAPITAL PARTNERS SELF STORAGE ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG
DAN CABALLERO
4/8/2025



SITE DATA TABLE	
	TOTAL
SITE AREA	4.98 AC (216,935 SF)
ZONING	PD-46 / SH 276 OVERLAY
PROPOSED USE	SELF STORAGE
BUILDING SIZE	45,755 SF
LOT COVERAGE	42.91 %
FLOOR TO AREA RATIO	0.43 :1
BUILDING STORIES	1 STORY
TOTAL IMPERVIOUS	183,520 SF (84.6%)
OPEN SPACE	0.767 AC (15.4 %)

PARKING DATA TABLE	
PARKING REQ.	
MINI-WAREHOUSE 3 SPS. + 1 PER 100 UNITS	11 SPACES
EXISTING 321 UNITS	5 SPACES
PROPOSED 385 UNITS	6 SPACES
PARKING PROVIDED	
STANDARD PARKING	13 SPACES
ADA PARKING	1 SPACES
TOTAL	14 SPACES (1 ADA)



- ADDITIONAL MEASURES TO COMPENSATE FOR VARIANCE REQUEST
- RELOCATION OF CIVIL DEFENSE SIREN AND PROVIDE ACCESS EASEMENT
 - INCREASED TREE SIZE FROM 4" TO 6" CALIPER
 - INCREASED DENSITY BY ADDING ADDITIONAL TREES

CONSTRUCTION SCHEDULE	
	PROPOSED 5' STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED 6' HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED 4' SIDEWALK CONCRETE PAVEMENT
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
	PROPOSED SAWCUT
	PARKING COUNT

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
 - ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
 - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
 - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
 - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.
 - DUMPSTER ENCLOSURE TO BE 8' IN HEIGHT WITH SELF LATCHING GATE. MATERIALS TO MATCH BUILDING.
 - NO ABOVE GROUND STORAGE TANKS OR OUTSIDE STORAGE, WHICH INCLUDES VEHICLES.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

SELF STORAGE ROCKWALL, TX

LEGAL DESCRIPTION AND/OR ADDRESS:
BEING 4.98 ACRES OF LAND OUT OF THE JOHN A. RAMSEY SURVEY, ABSTRACT NO. 186 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER:
PRISM LEASING LTD
625 SUNSET HILL DRIVE
ROCKWALL, TX 75087

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
CONTACT: DREW DONOSKY
PH: 817.281.0572

CASE NUMBER
SP2025-011

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

TEXAS REGISTRATION #14199

CLAYMOORE ENGINEERING

PHONE: 817.281.0572
1903 CENTRAL DR. SUITE #406
BEDFORD, TX 76021
WWW.CLAYMOOREENGINEERING.COM

STATE OF TEXAS

DREW DONOSKY
125651
LICENSED PROFESSIONAL ENGINEER

4/8/2025

ROCKWALL STORAGE EXPANSION
2301 TX-276
ROCKWALL, TX 75032

NO.	DATE	REVISION	BY

CITY SITE PLAN

DESIGN: ASD
DRAWN: DC
CHECKED: ASD
DATE: 4/8/2025

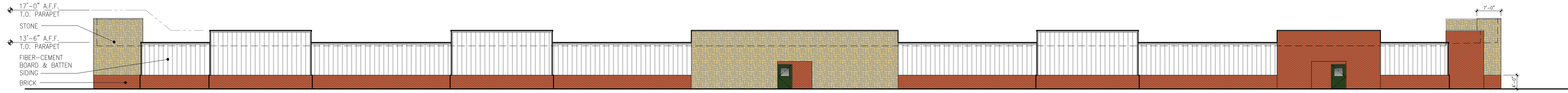
SHEET
SP-1

File No. 2024-119
CASE # SP2025-011

SCHEMATIC DESIGN REVIEW

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

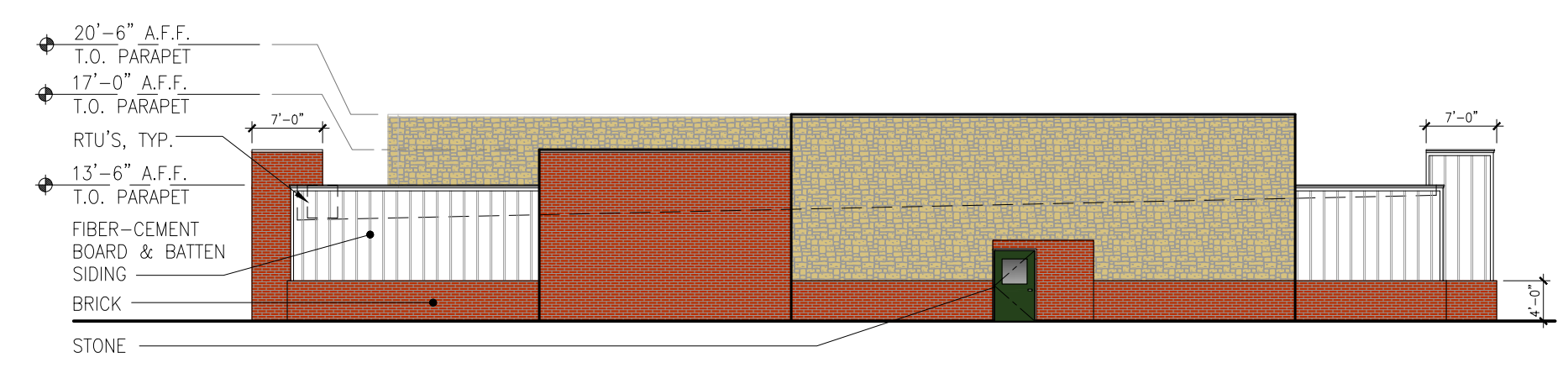
REVISIONS	DATE
	DESCRIPTION
NO.	



EXTERIOR WALL FINISH MATERIALS

BRICK	1,928 SF	32%
SIDING	2,961 SF	47%
STONE	1,270 SF	21%
TOTAL	6,059 SF	100%

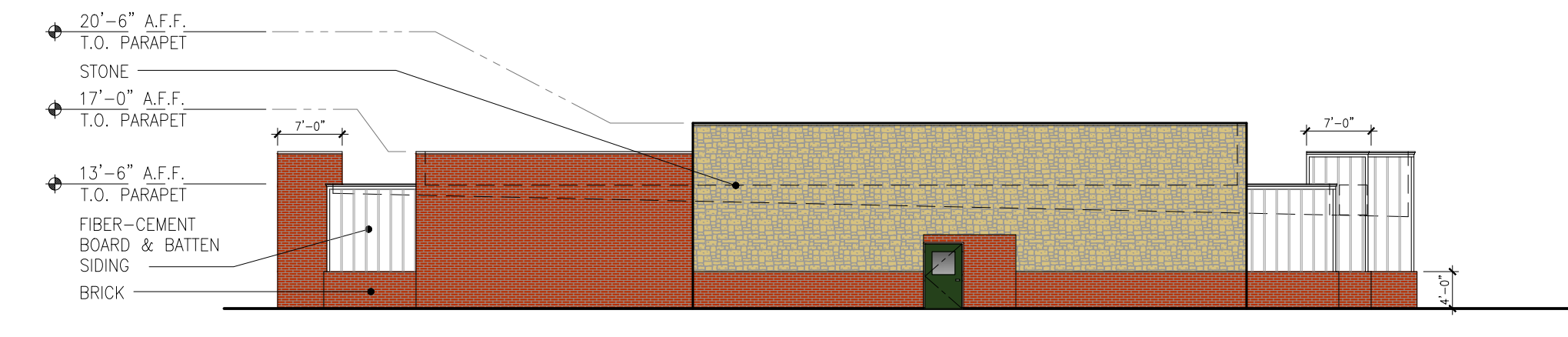
4 WEST ELEVATION
SCALE: 1/16" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	881 SF	39%
SIDING	408 SF	18%
STONE	955 SF	43%
TOTAL	2,244 SF	100%

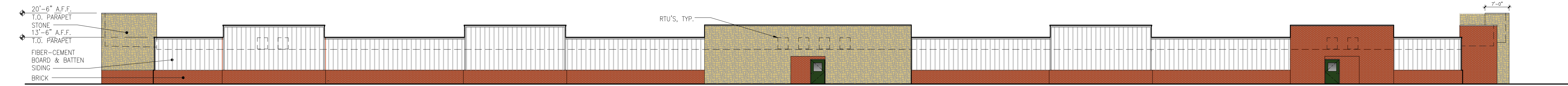
3 NORTH (SPRINGER LN) ELEVATION
SCALE: 1/16" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	959 SF	45%
SIDING	274 SF	13%
STONE	910 SF	42%
TOTAL	2,143 SF	100%

2 SOUTH (HWY 276) ELEVATION
SCALE: 1/16" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	1,914 SF	32%
SIDING	2,858 SF	47%
STONE	1,288 SF	21%
TOTAL	6,060 SF	100%

1 EAST (INTERNAL) ELEVATION
SCALE: 1/16" = 1'-0"



EXISTING HIGHWAY 276 FACADE

- EXTERIOR ELEVATIONS GENERAL NOTES:**
- The back side of all parapets shall be finished with the same material as the external facing facade.
 - All rooftop equipment shall be fully screened by the parapets.
- REQUIRED ARCHITECTURAL ELEMENTS:**
- RECESSES/PROJECTIONS
 - ARTICULATED BASE
 - ARTICULATED CORNICE LINE
 - VARIED ROOF HEIGHTS

PROJECT
NAME: ROCKWALL STORAGE EXPANSION
ADDRESS: 2301 HIGHWAY 276
ROCKWALL, TX 75032

APPLICANT
APPLICANT: CLAYMOORE ENGINEERING
CONTACT PERSON: DREW DONOSKY
ADDRESS: 1903 CENTRAL DRIVE #406
BEDFORD, TX 76021
EMAIL: drew@claymooreeng.com
PHONE: 817.281.0572

OWNER
OWNER: PRISM LEASING, LTD
ADDRESS: 625 SUNSET HILL DR.
ROCKWALL, TX 75087

CASE#: SP2025-011

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, AS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS THIS ____ DAY OF ____.

DIRECTOR OF PLANNING AND ZONING

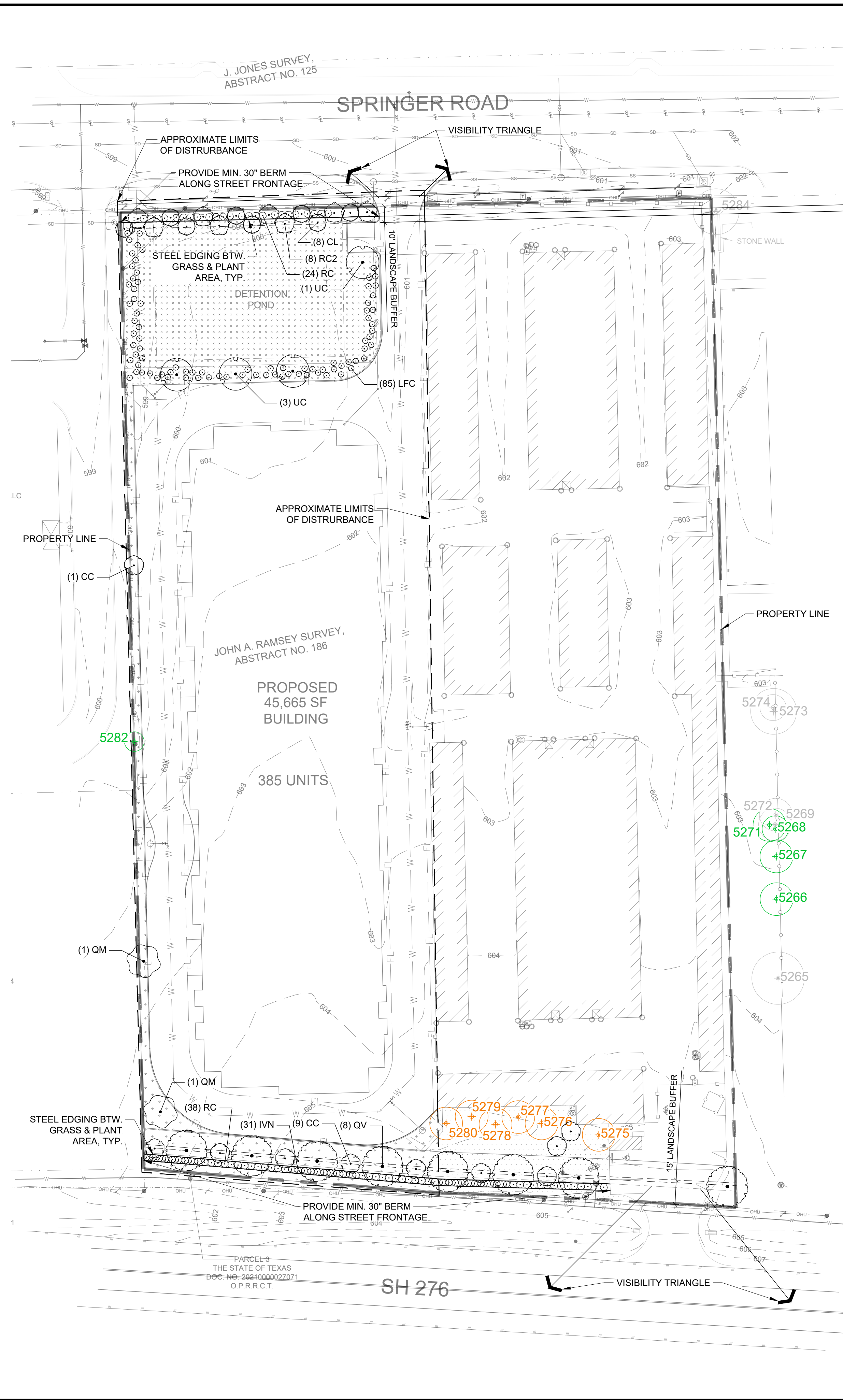
PLANNING AND ZONING COMMISSION, CHAIRMAN

PROJECT NUMBER
2506
DATE
03.31.25
SHEET NUMBER
A1.0

Rockwall Storage Expansion
An Expansion for The Storage Locker
2301 Hwy 276, Rockwall, Texas

exterior elevations

P:\SHARED\PROJECTS\2025\ROCKWALL STORAGE EXPANSION - ROCKWALL TX - TX-276\ROCKWALL STORAGE EXPANSION - ROCKWALL TX - TX-276 TD-LP 4-7-2025.DWG
JEFFREY LUERS 4/7/2025



LANDSCAPE STANDARDS

05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL
REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:
SH 276 - ±362' OF STREET FRONTAGE:
SPRINGER ROAD - ±361' OF STREET FRONTAGE:
10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
8 CANOPY TREES, 15 ACCENT TREES (6 EXISTING), & SHRUBS PROVIDED
16 ACCENT TREES*, & SHRUBS PROVIDED

05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT
NEW CONSTRUCTION SITE AREA:
LANDSCAPE AREA REQUIRED SITE:
LANDSCAPE PROVIDED:
108,527 SF
21,705.4 SF (20%)
29,310 SF (27%)

LOCATION OF LANDSCAPING:
MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.

MIN. SIZE OF AREAS
WIDE AND A MIN. OF 25 SF IN AREA
ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5'

PARKING LOT LANDSCAPING:
1* CANOPY TREE PER 10 PARKING SPACES, NO PARKING SPACE MORE THAN 80' FROM A CANOPY TREE

DETENTION BASIN SITE AREA:
DETENTION BASINS PLANTING REQUIRED:
DETENTION BASING PLANTING PROVIDED:
XERISCAPE OPTION
16,013 SF
NATIVE GRASS & 4 SHRUBS PER 750 SF
16,013 / 750 = 21.35; 21.35 x 4 = 85 SHRUBS & NATIVE GRASS

ARTICLE 09: TREE PRESERVATION
05: TREE MITIGATION REQUIREMENTS
MITIGATION REQUIRED:
MITIGATION PROVIDED:
YES
1 - 4" CALIPER TREE

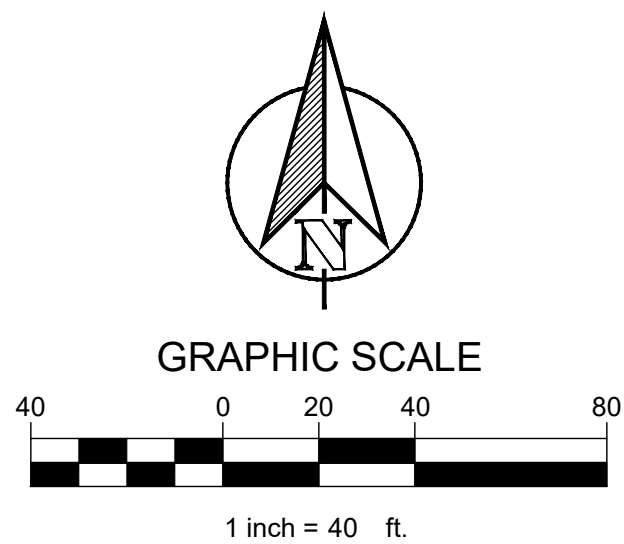
06.01: REPLACEMENT TREES
ALL REPLACEMENT TREES SHALL BE A MIN. 4" CALIPER
1 REQUIRED

ADDITIONAL LANDSCAPE MEASURES TO COMPENSATE FOR VARIANCE REQUEST
INCREASED TREE SIZE - REQUIRED TREES HAVE BEEN INCREASED FROM 4" - 6" CALIPER
INCREASED DENSITY - ADDITIONAL TREES HAVE BEEN ADDED TO INCREASE DENSITY OF TREES.

* ACCENT TREES USED DUE TO OVERHEAD POWER LINES.

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
LARGE TREES					
	QM	Quercus muehlenbergii / Chinkapin Oak	4" Cal.	Cont. or B&B	2
	QV	Quercus virginiana / Southern Live Oak	6" Cal.	Cont. or B&B	8
	UC	Ulmus crassifolia / Cedar Elm	6" Cal.	Cont. or B&B	4
SMALL TREES					
	CC	Cercis canadensis texensis / Texas Redbud	6" Ht.	Cont. or B&B	10
	CL	Chilopsis linearis / Desert Willow	4" Ht.	Cont. or B&B	8
	RC2	Rhus copallinum 'Flameleaf' / Flameleaf Sumac	4" Ht.	Cont. or B&B	8
SHRUBS					
	IVN	Ilex vomitoria 'Nana' / Dwarf Yaupon Holly	5 gal.	Cont.	31
	LFC	Leucophyllum frutescens 'Compacta' / Compact Texas Sage	5 gal.	Cont.	85
	RC	Rhapiolepis indica 'Pinkie' / Indian Hawthorn	5 gal.	Cont.	62
SOD/SEED					
	SM	Blackland Prairie Seed Mix / Native American Seed (Seedsources.com)			14,985 sf
	TRF	Cynodon dactylon x transvaalensis 'DT-1' / TifTuf™ Bermudagrass solid sod, staggered joints, thick and green, no gaps between sod pieces			6,992 sf
	EG	Existing Grass Repair and restore as needed.			5,154 sf



GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, 'FINISH GRADE' REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALK. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SOODED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
- COMPLIANCE WITH STATE LAW. ALL IRRIGATION SYSTEMS SHALL COMPLY WITH THE IRRIGATION CODE OF CHAPTER 10, BUILDINGS AND BUILDING REGULATIONS, ARTICLE XVII, IRRIGATION CODE, OF THE CITY OF ROCKWALL, CODE OF ORDINANCES, AND ALL APPLICABLE STATE LAWS, AS MAY BE AMENDED.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING, CURBS, WATER, STORM, OR SANITARY SEWER UTILITIES. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENIRCLE THE ROOTBALL.

MULCHES

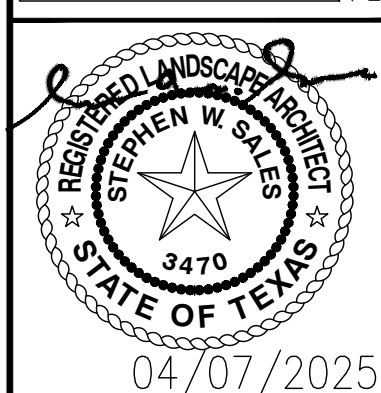
AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

PLANTING & IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

LANDSCAPE PLANTING PLAN

National Presence. Local Expertise.



ROCKWALL STORAGE EXPANSION
2398 TX-276
ROCKWALL, TX 75032

NO.	DATE	REVISION	BY

DESIGN:	JML
DRAWN:	JML
CHECKED:	SS
DATE:	04-07-25
SHEET	
LP-1	

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 - A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
 - THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK**
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.**
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS.**
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SAME SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 - ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
 - TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
 - ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH A PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 - ALL TREES SHALL BE STANDARD IN FORM UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FIVE INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED. THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
 - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
 - SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
 - TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2" INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
 - COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 6, MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT, 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE, SOLUBLE SALT CONTENT OF 5 TO 10 DECIMENEMS/L, NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
 - FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
 - MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
 - TREE STAKING AND GUYING
 - STAKES: 6' LONG GREEN METAL T-POSTS.
 - GUY AND THE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 - STRAP CHAINING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
 - STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
 - PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION**
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/- 1" OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 - SOIL TESTING:
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECTS LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
 - THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECTS PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL, ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING.
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS PER 1,000 S.F.
 - PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING.
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS PER 1,000 S.F.
 - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS PER CU. YD.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - IRON SULPHATE - 2 LBS. PER CU. YD.
 - IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/- 1" OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE OF 1% IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL PLANS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
 - ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

B. SUBMITTALS

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
 - SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE. PHOTOS OR SAMPLES OF ANY REQUIRED MULCH TYPES AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
 - SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
 - WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING**
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 - EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 - TRENCHING NEAR EXISTING TREES:
 - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS, WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

D. TREE PLANTING

- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
- SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
- FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAKE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
- INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
- BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
- TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUM LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - 1-2" TREES: TWO STAKES PER TREE
 - 2-1/2" - 4" TREES: THREE STAKES PER TREE
 - TREES OVER 4" CALIPER: GUY AS NEEDED
 - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE

E. SHRUB, PERENNIAL, AND GROUND COVER PLANTING

- DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDMENTS AS NEEDED.
 - INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
 - WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- F. SODDING**
- SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 - LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
 - LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP.
 - STAGGER STRIPS TO OFFSET JOINTS AS ADVISED BY THE MANUFACTURER.
 - ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
 - WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

H. CLEAN UP

- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
- DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

I. INSPECTION AND ACCEPTANCE

- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
- WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
- THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

J. LANDSCAPE MAINTENANCE

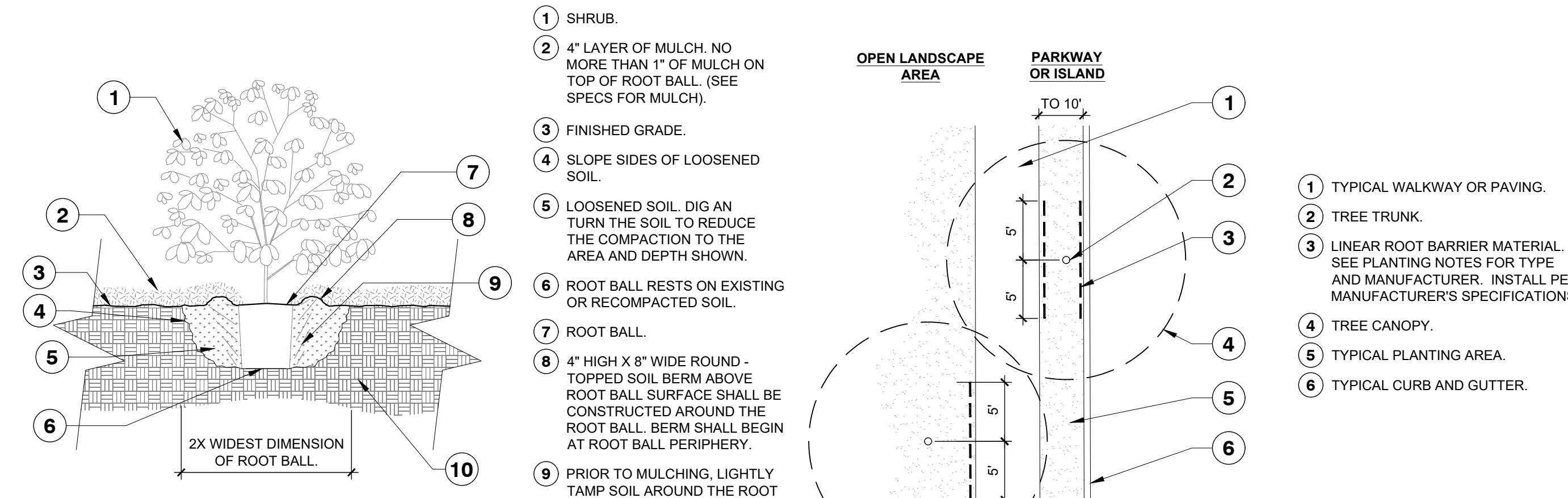
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESITTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDING AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2" INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS

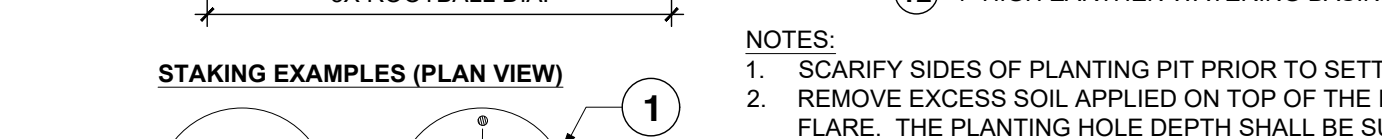
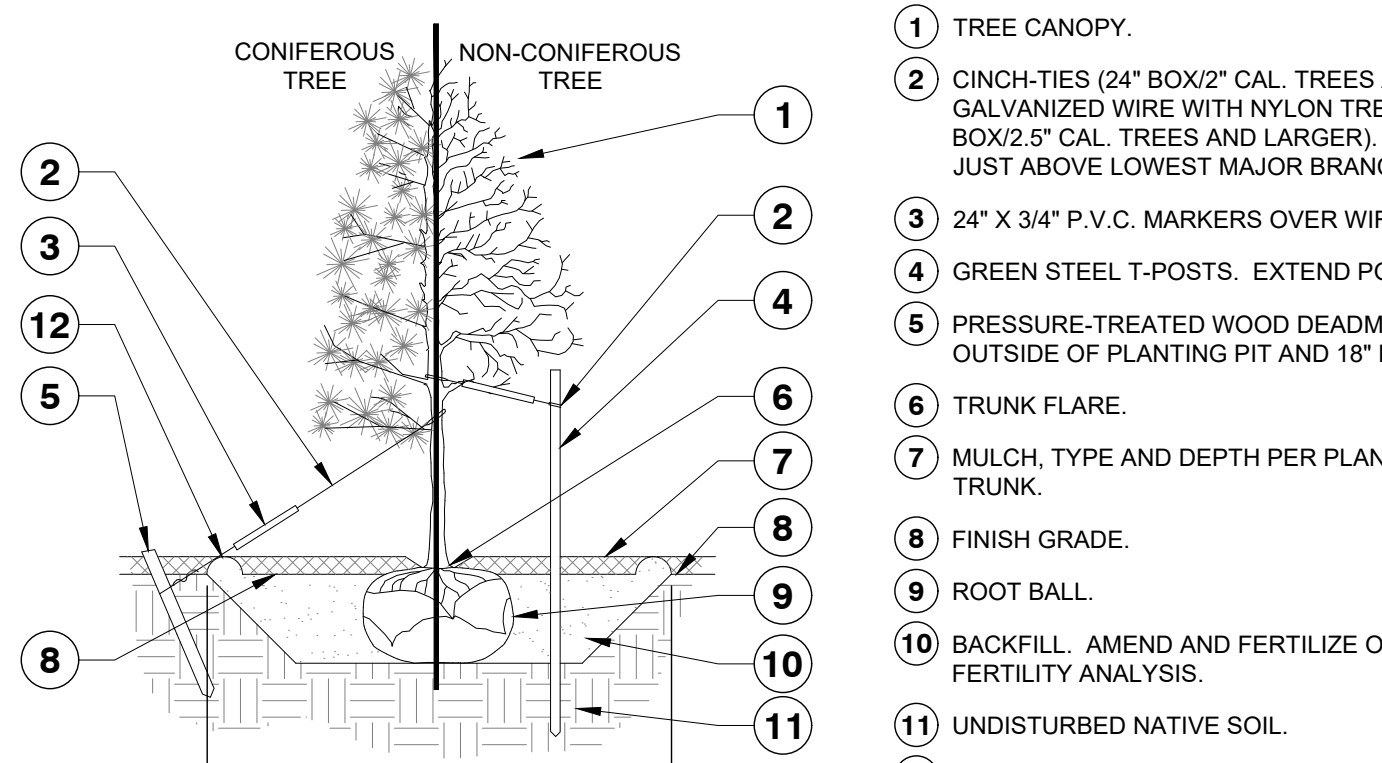
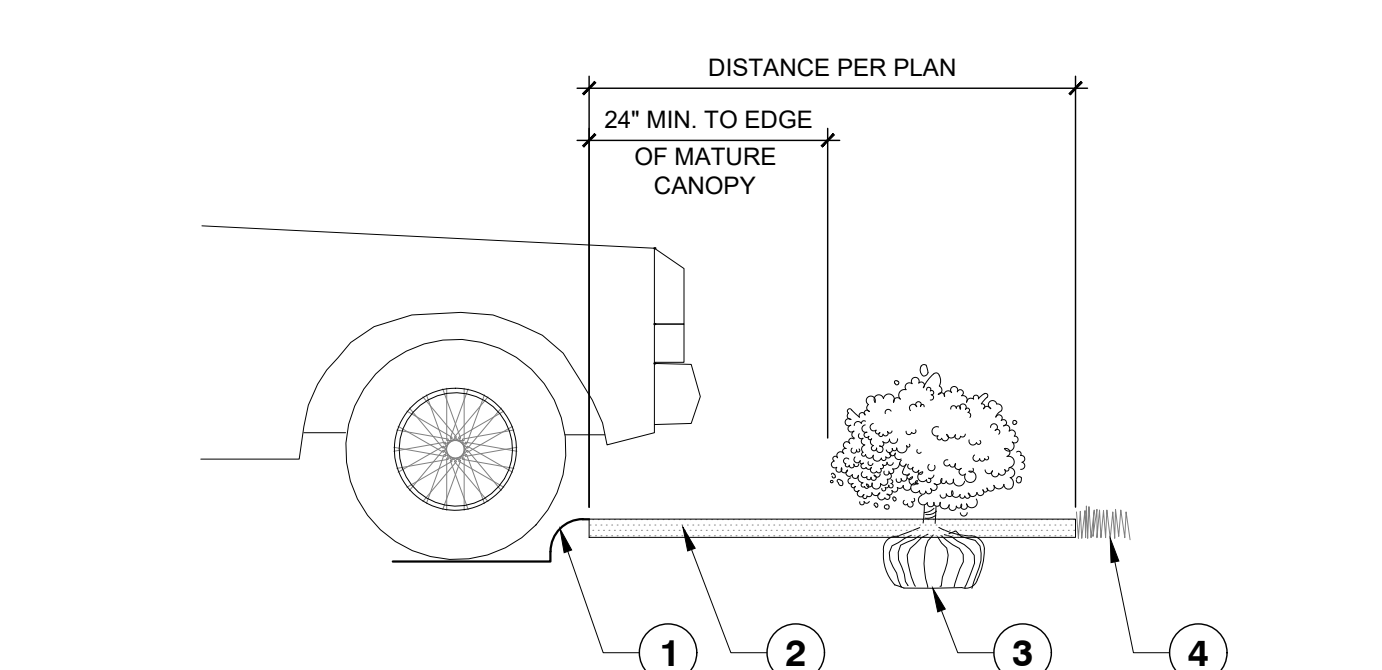
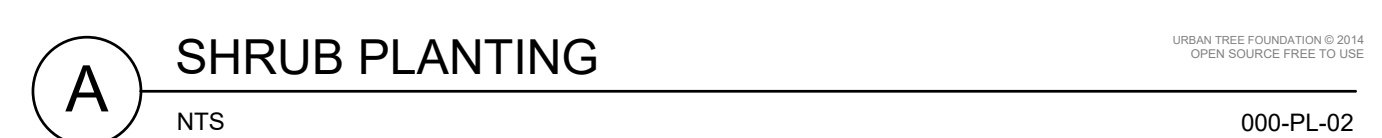
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.

L. RECORD DRAWINGS

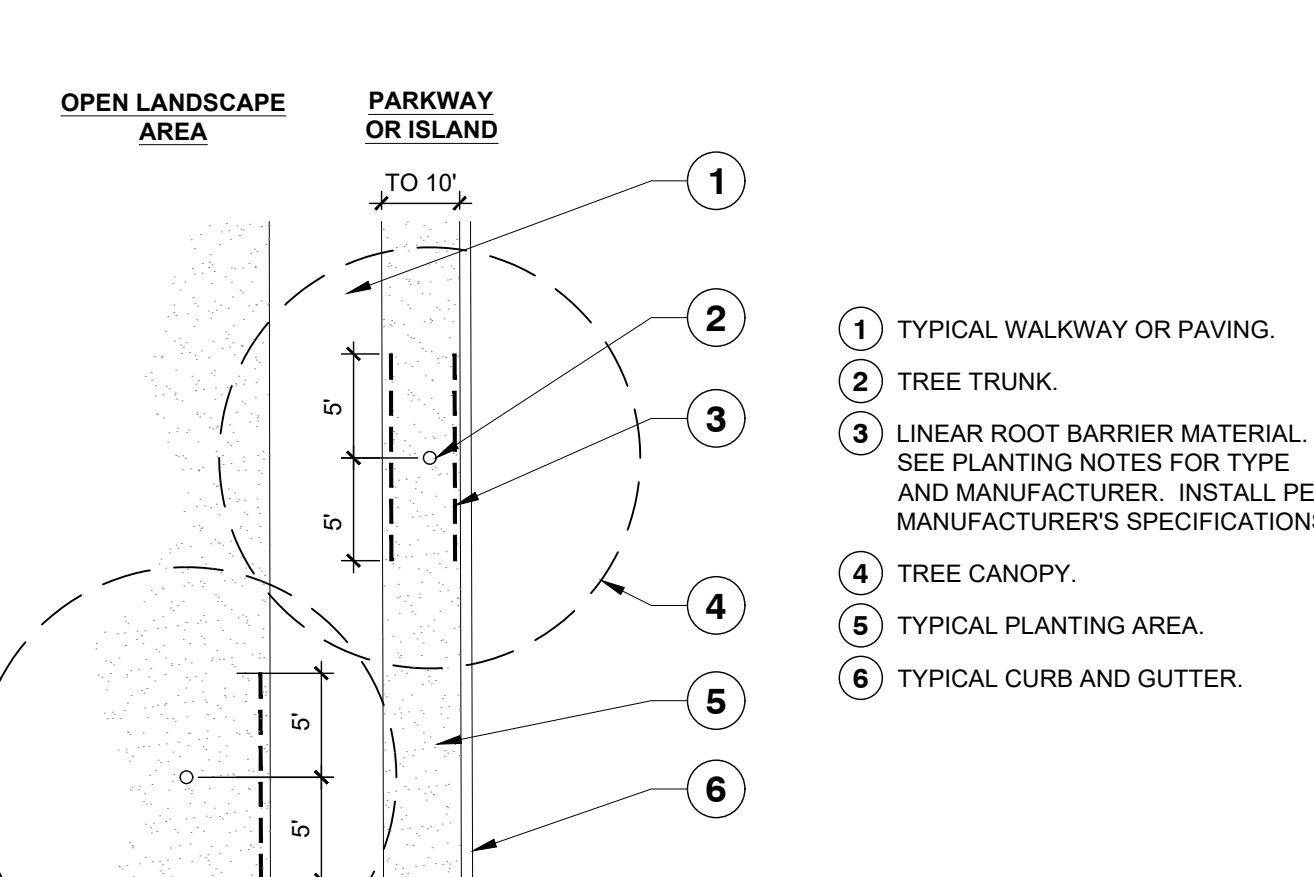
- PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH FIELD NOTES, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



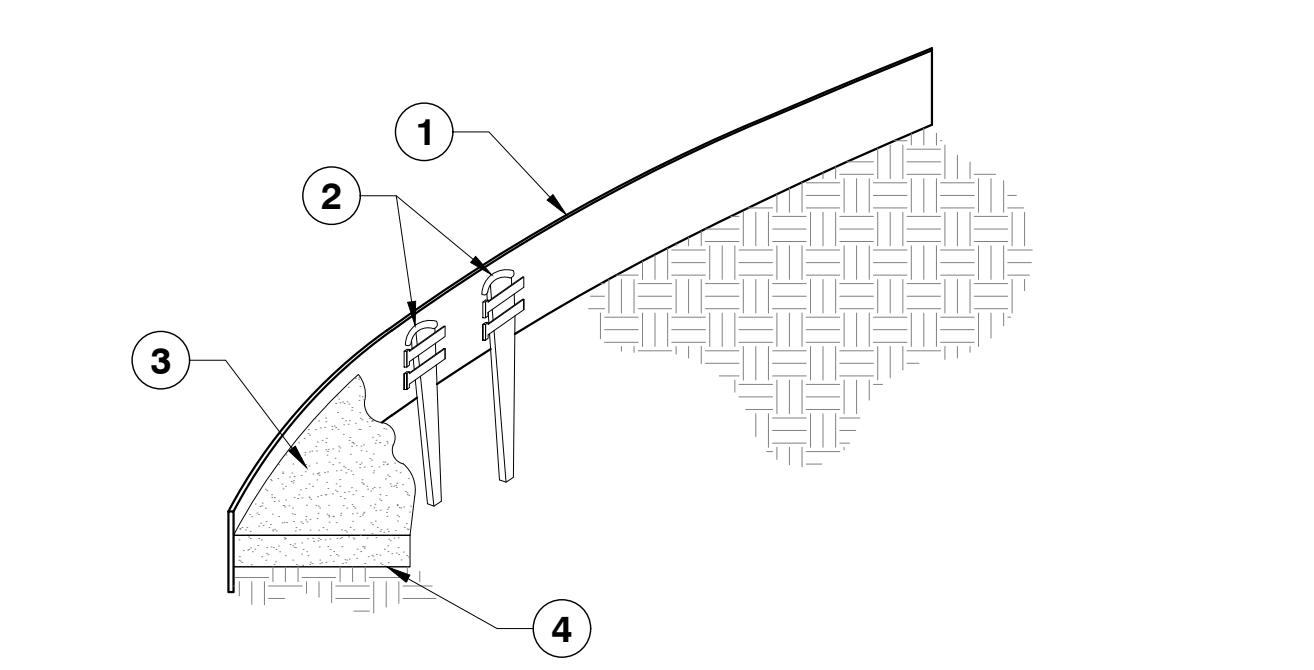
- NOTES:**
- SHRUBS SHALL BE OF QUALITY PRESCRIBED IN THE ROOT OBSERVATIONS DETAIL AND SPECIFICATIONS.
 - SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.



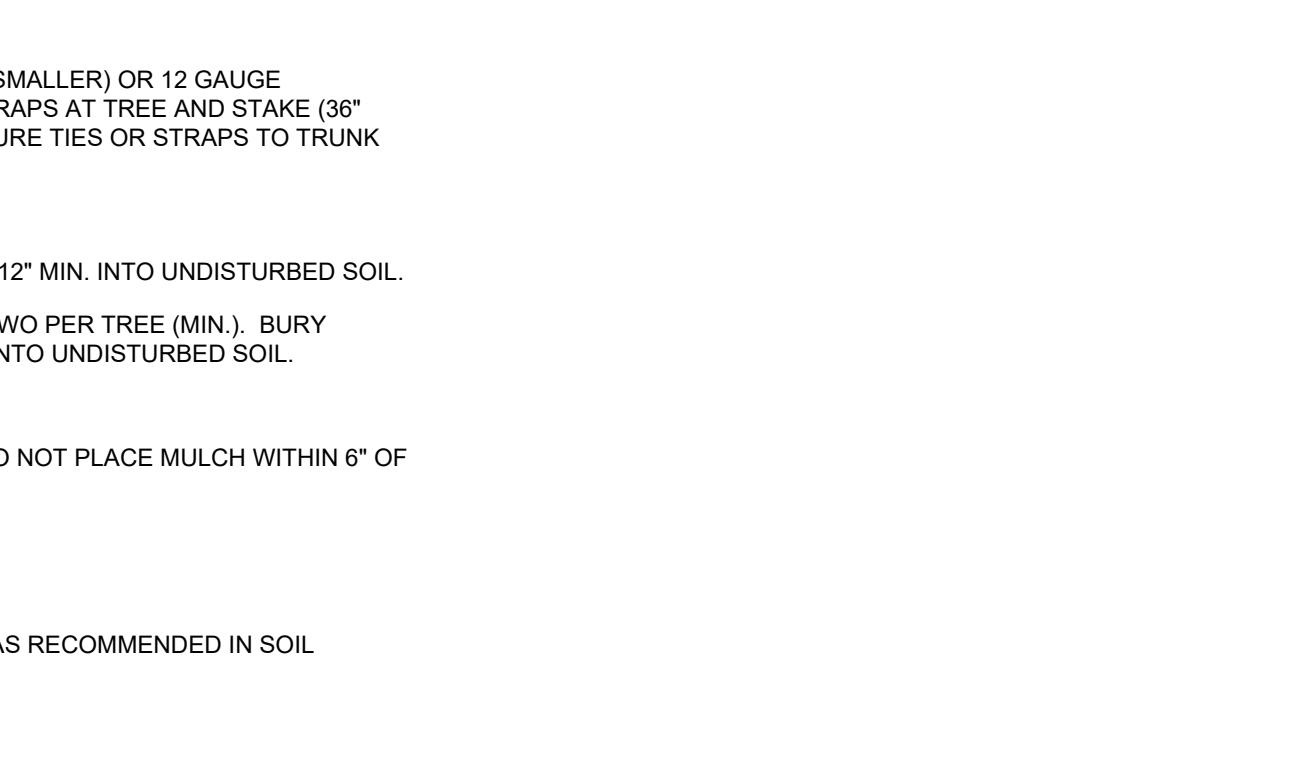
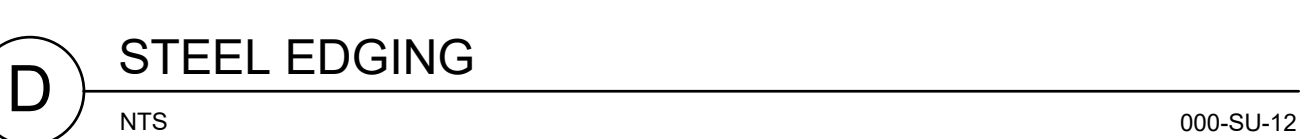
- NOTES:**
- SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
 - REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2-4" ABOVE FINISH GRADE.
 - FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
 - REMOVE ALL NURSERY STAKES AFTER PLANTING.
 - TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS REQUIRE STAKES TO KEEP TREES UPRIGHT. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.
 - FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.



- NOTES:**
- INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.
 - BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.



- NOTES:**
- INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
 - BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
 - TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.
 - STEEL EDGING SHOULD BE SMOOTH & CONSISTENT AT CURVES & SHOULD JOIN AT 90 DEGREE ANGLES UNLESS OTHERWISE NOTED.



- NOTES:**
- SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
 - REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2-4" ABOVE FINISH GRADE.
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 - TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS REQUIRE STAKES TO KEEP TREES UPRIGHT. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.
 - FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.

TEXAS REGISTRATION #14190

CLAY MOORE ENGINEERING

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ROCKWALL, TX 75032
PHONE: 972.261.0072
WWW.CLAYMOOREENGINEERING.COM

REGISTERED LANDSCAPE ARCHITECT
STATE OF TEXAS
3470
04/07/2025

ROCKWALL STORAGE EXPANSION

2398 TX-276
ROCKWALL, TX 75032

NO.	DATE	REVISION	BY

LANDSCAPE DETAILS AND SPECIFICATIONS

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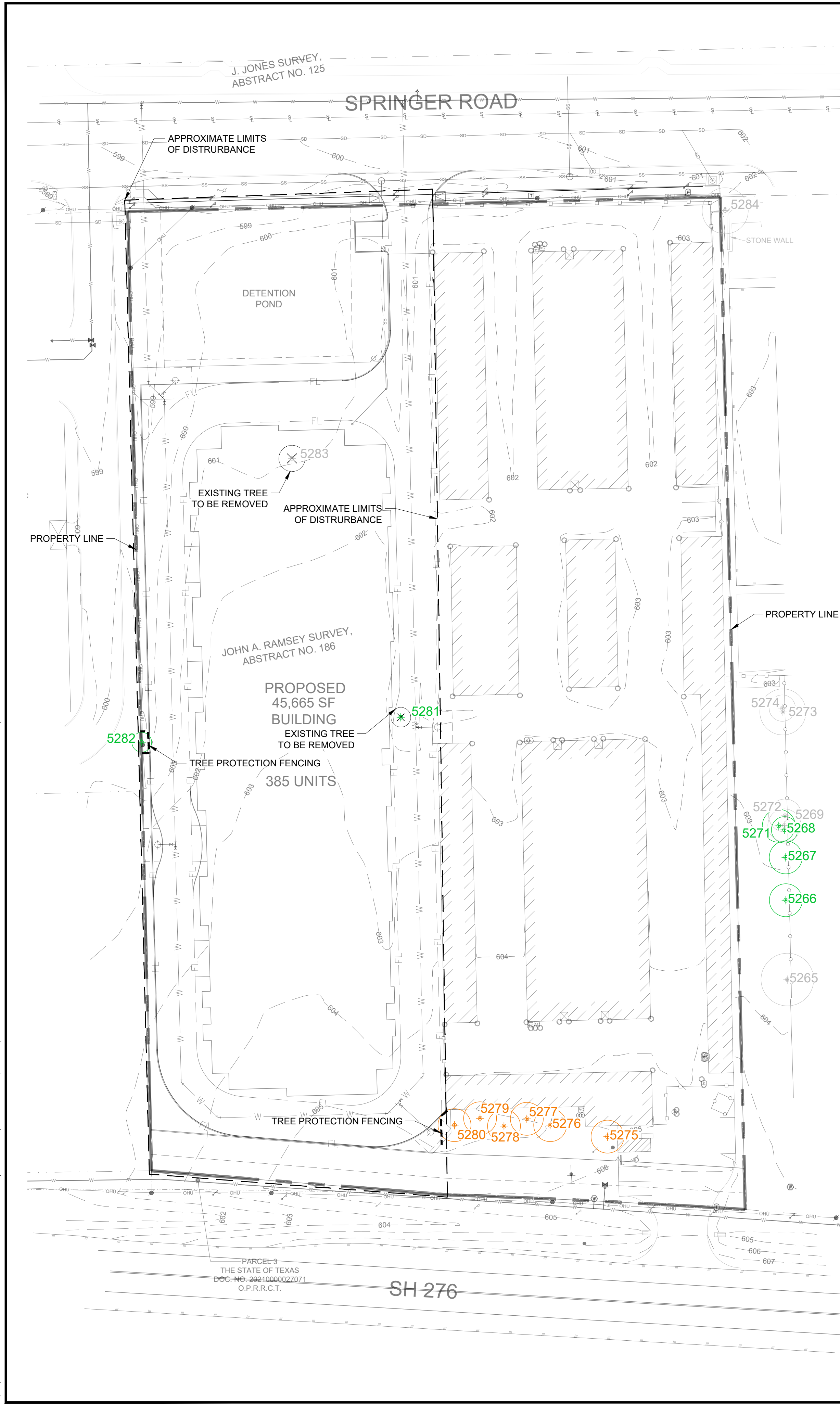
LANDSCAPE ARCHITECTURE
LAND PLANNING • IRRIGATION DESIGN

DESIGN: JML
DRAWN: JML
CHECKED: SS
DATE: 04-07-23

SHEET
LP-2

File No. 2024-119

P:\SHARED PROJECTS\2025\ROCKWALL STORAGE EXPANSION - ROCKWALL TX - TX-276\ROCKWALL STORAGE EXPANSION - ROCKWALL TX - TX-276 TD-LP 4-7-2025.DWG



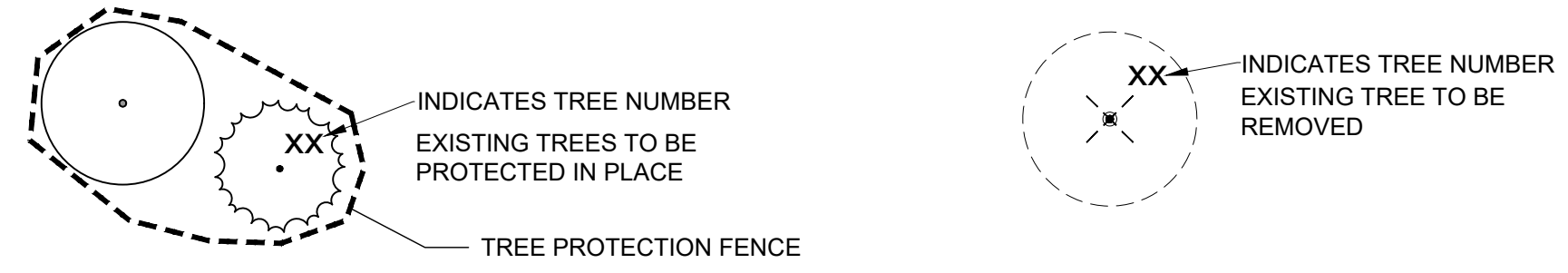
EXISTING TREE LEGEND	
5XXX	Non-Protected Trees
5XXX	Primary Trees - 1:1 Replacement Ratio
5XXX	Secondary Trees - 0.5 Replacement Ratio

TREE ID	SPECIES	DBH	STATUS	MITIGATION
5265	HACKBERRY	16	REMAIN	
5266	CEDAR	10	REMAIN	
5267	CEDAR	10	REMAIN	
5268	CEDAR	8	REMAIN	
5269	HACKBERRY	10	REMAIN	
5271	CEDAR	10	REMAIN	
5372	HACKBERRY	10	REMAIN	
5273	HACKBERRY	14	REMAIN	
5274	HACKBERRY	8	REMAIN	
5275	CREPE MYRTLE	10	REMAIN	
5276	CREPE MYRTLE	10	REMAIN	
5277	CREPE MYRTLE	10	REMAIN	
5278	CREPE MYRTLE	10	REMAIN	
5279	CREPE MYRTLE	10	REMAIN	
5280	CREPE MYRTLE	10	REMAIN	
5281	CEDAR	6	REMOVE	YES 4" TREE
5282	CEDAR	8	REMAIN	
5283	HACKBERRY	8	REMOVE	NO
5284	HACKBERRY	14	REMAIN	

TREE PROTECTION GENERAL NOTES

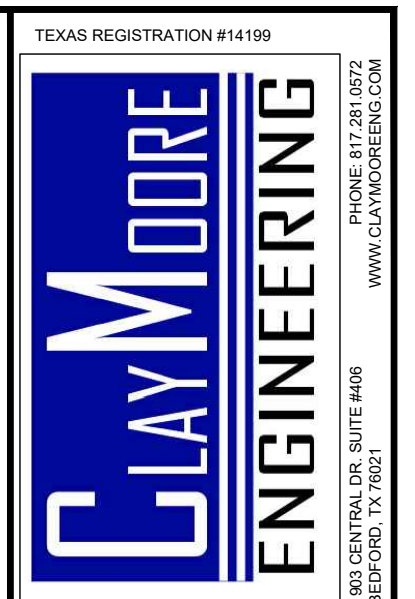
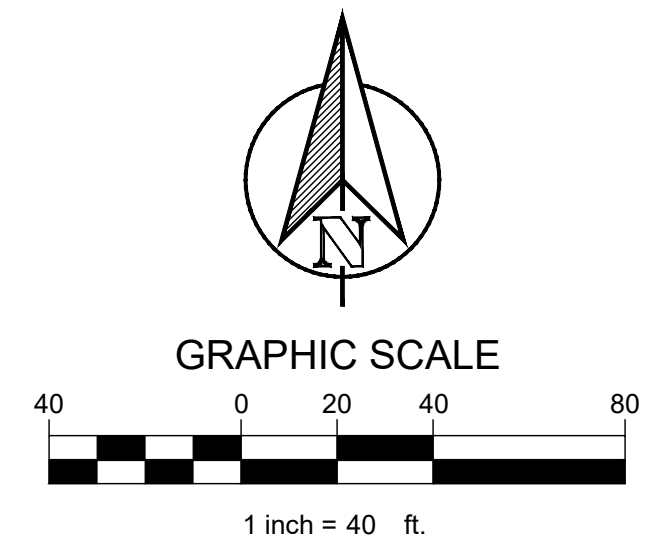
- (A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - (1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - (2) AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - (3) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- (B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- (C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- (D) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- (E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- (F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE COUNTY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- (G) THE COUNTY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- (H) IF, IN THE OPINION OF THE COUNTY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

LEGEND



NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.



ROCKWALL STORAGE EXPANSION
2398 TX-276
ROCKWALL, TX 75032

NO.	DATE	REVISION	BY

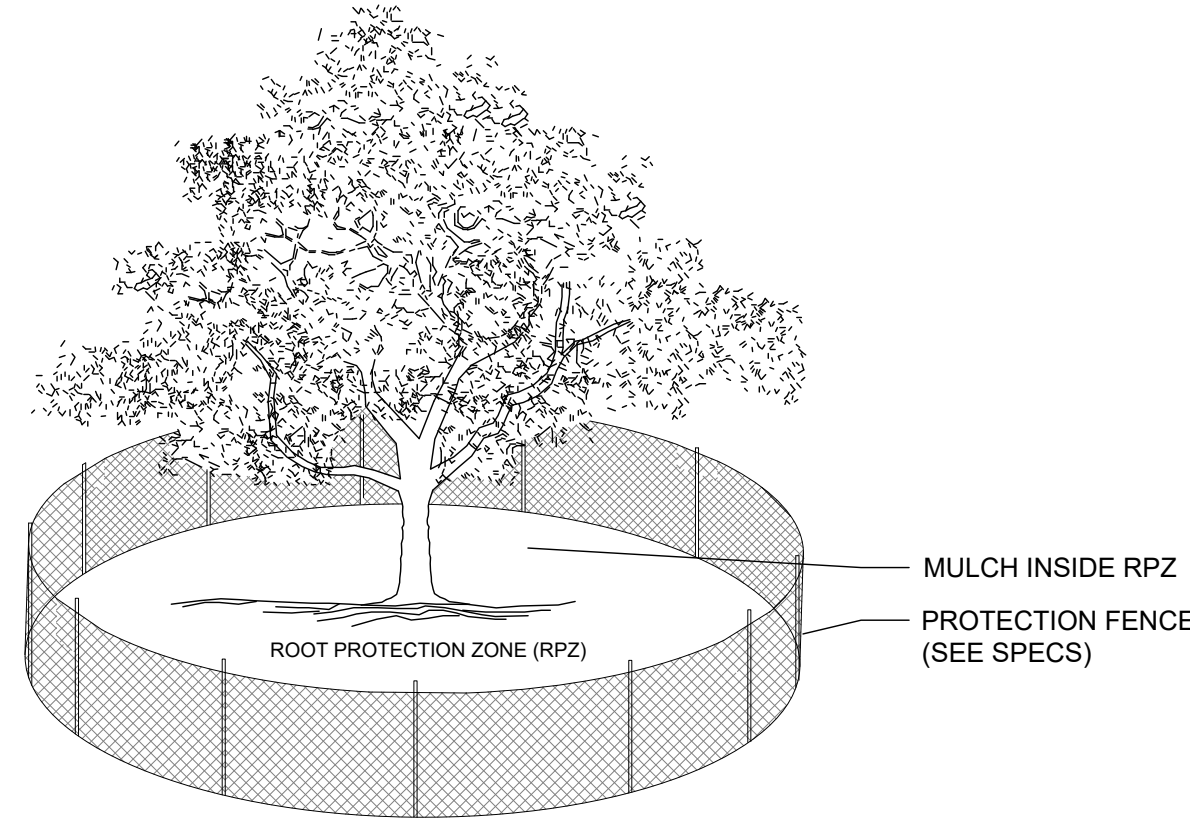
TREE DISPOSITION PLAN

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EVERGREEN DESIGN GROUP
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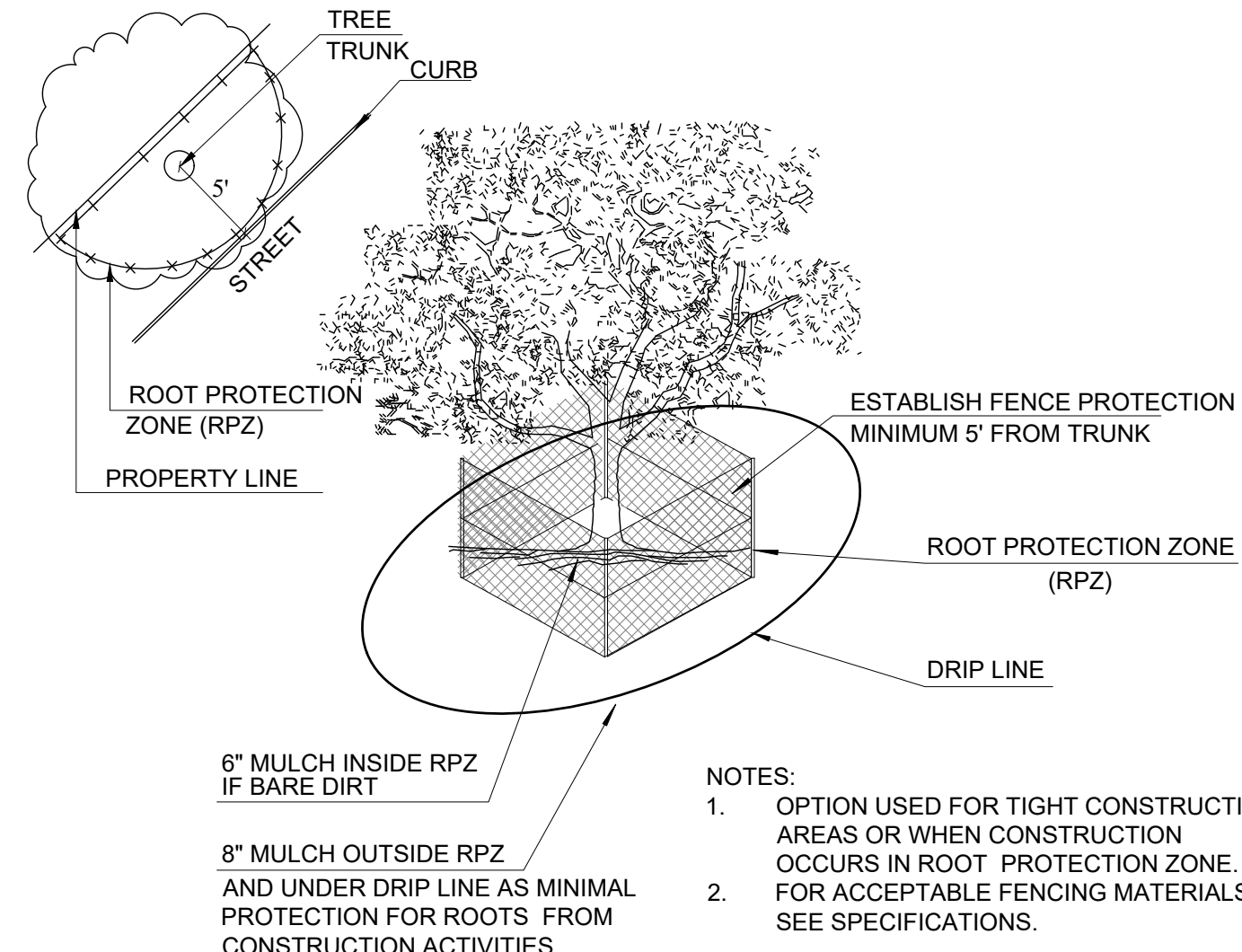
DESIGN:	JML
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SHEET	
TD-1	
File No.	2024-119

P:\SHARED\PROJECTS\2025\ROCKWALL STORAGE EXPANSION - ROCKWALL TX - TX-276\ROCKWALL STORAGE EXPANSION - ROCKWALL TX - TX-276 TD-LP 4-7-2025.DWG



- NOTES:
1. THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
 2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

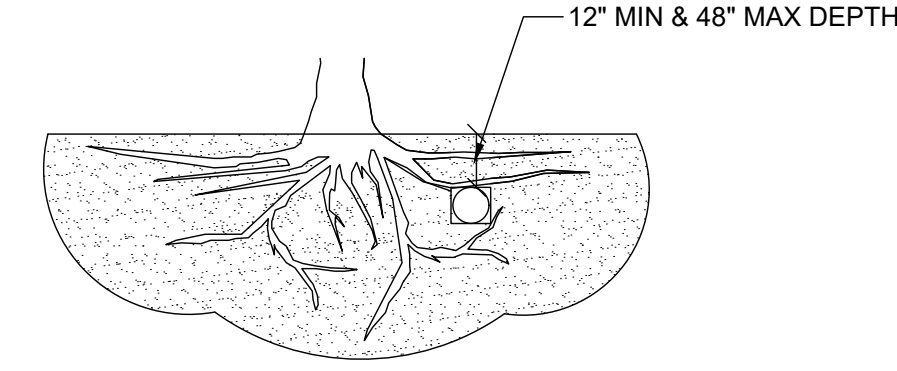
A TREE PROTECTION FENCE
SCALE: NOT TO SCALE



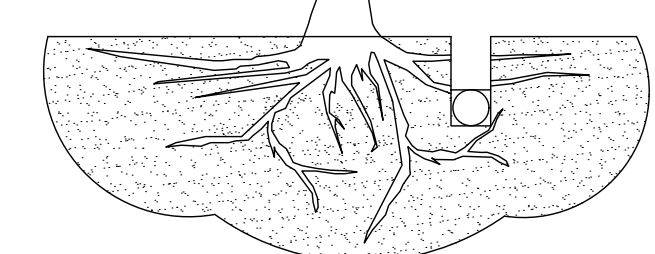
B TREE PROTECTION FENCE - TIGHT CONSTRUCTION
SCALE: NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



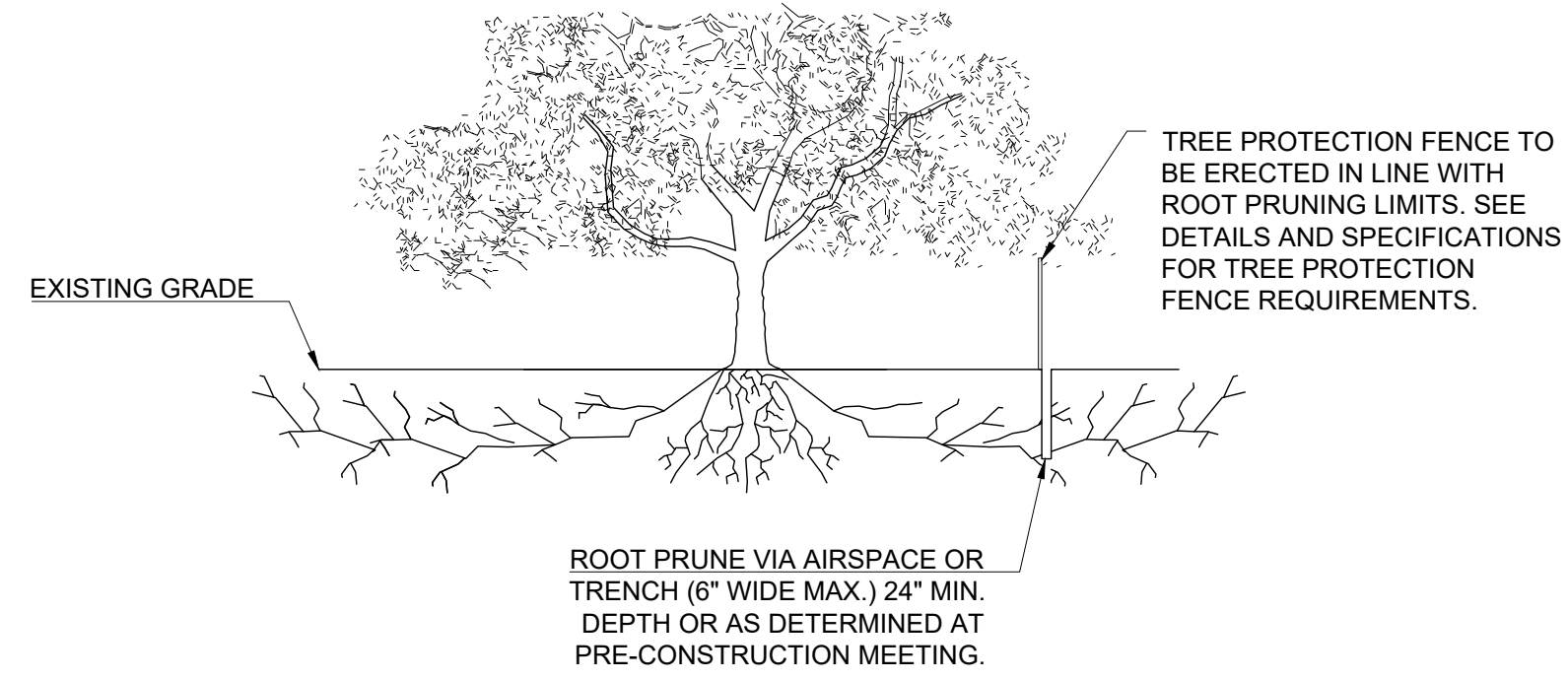
TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



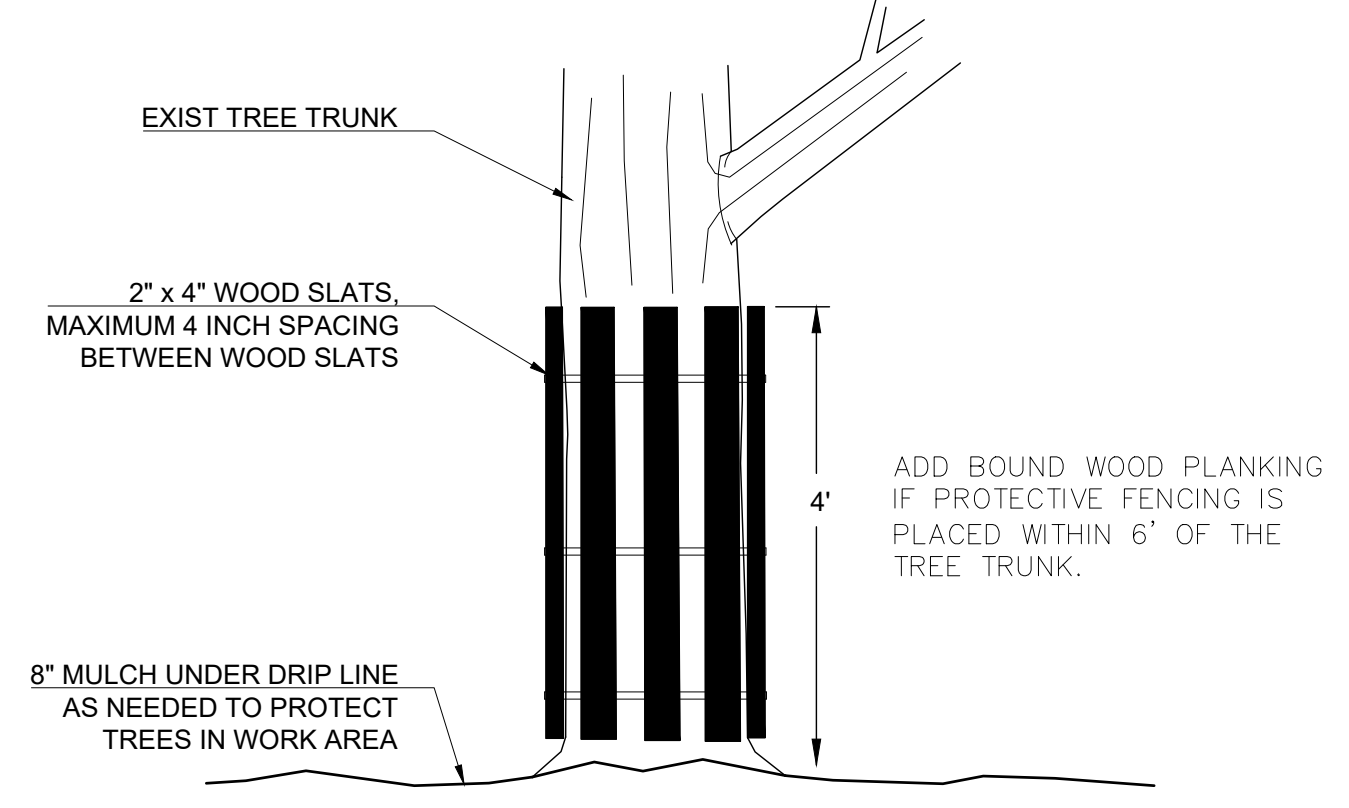
OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

C BORING THROUGH ROOT PROTECTION ZONE
SCALE: NOT TO SCALE

- NOTES
1. RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
 2. BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
 3. EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
 4. TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
 5. ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
 6. ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
 7. SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



D ROOT PRUNING DETAIL
SCALE: NOT TO SCALE



NOTE
IN SITUATIONS WHERE A PRESERVED TREE REMAINS IN IMMEDIATE AREA OF INTENDED CONSTRUCTION AND THE CITY FORESTER DETERMINES THE TREE BARK TO BE IN DANGER OF DAMAGE BY DEVELOPMENT ACTIVITIES, THE CONTRACTOR OR SUBCONTRACTOR SHALL PROTECT THE TREE BY WRAPPING TREE TRUNK WITH 2" x 4" STUDS AND ROPE OR BAND IN PLACE AS NEEDED TO PROTECT TREE BARK IN WORK AREAS.

E TREE BARK PROTECTION
SCALE: NOT TO SCALE

TREE PROTECTION SPECIFICATIONS

- MATERIALS**
1. FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
 2. POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T SHAPED WITH A MINIMUM WEIGHT OF 13 POUNDS PER LINEAR FOOT.
 3. TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
 4. USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.
- CONSTRUCTION METHODS**
1. ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
 2. EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
 3. PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
 4. PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
 5. THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
 6. THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
 7. WITHIN THE CRZ:
 - a. DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
 - b. DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
 - c. DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
 - d. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
 - e. DO NOT NAIL OR ATTACH TEMPORARY SIGNS, METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.

TREE RELOCATION GUIDELINES

1. TREES SHALL NOT BE UNNECESSARILY DAMAGED DURING REMOVAL, TRANSPORT OR REPLANTING OF THE TREE.
2. IF THE TREE HAS A DORMANT PERIOD, THEY SHOULD BE TRANSPLANTED DURING THAT TIME. TREES SHOULD NOT BE TRANSPLANTED DURING PERIODS OF STRONG WINDS, DRY WINTER WINDS OR DURING DROUGHT.
3. ADEQUATE SPACES FOR ROOT AND CROWN DEVELOPMENT SHALL BE PROVIDED.
4. TREES SHALL BE ROOT AND CROWN PRUNED IN ACCORDANCE WITH SOUND ARBORICULTURAL STANDARDS PRIOR TO TRANSPLANTING.
5. DURING AND FOLLOWING TRANSPLANTING, THE ROOT BALL AND TRUNK SHALL BE PROTECTED. THE ROOT BALL MUST BE KEPT MOIST AT ALL TIMES.
6. TRANSPLANTED TREES SHALL BE BRACED FOR A MINIMUM OF ONE (1) YEAR.
7. TRANSPLANTED TREES SHALL NOT BE FERTILIZED AT PLANTING TIME, BUT SHALL BE WATERED SUFFICIENTLY UNTIL THE TREE GROWTH IS REESTABLISHED.
8. ALL CROWN PRUNING SHALL BE DONE IN ACCORDANCE WITH "THE AMERICAN NATIONAL STANDARDS INSTITUTE A-300, TREE SHRUB AND OTHER WOODY PLANT MAINTENANCE-STANDARD PRACTICES", AND "Z-133.1 PRUNING, REPAIRING, MAINTAINING AND REMOVING TREES, AND CUTTING BRUSH-SAFETY REQUIREMENTS" OR PALM PRUNING IN ACCORDANCE WITH THE STANDARDS IN RICHARD HARRIS, "ARBORICULTURE INTEGRATED MANAGEMENT OF LANDSCAPE TREES, SHRUBS AND VINES", AS AMENDED.
9. CONTRACTOR IS RESPONSIBLE FOR REGULAR WATERING AND MAINTENANCE OF TRANSPLANTED TREES DURING STORAGE PERIOD.

1. DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
8. ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.
9. WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
10. THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES.
11. REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
12. TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
13. ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
14. COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
15. IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
16. WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
17. WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
18. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

TREE DISPOSITION DETAILS AND SPECIFICATIONS

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TEXAS REGISTRATION #14199

CLAY MOORE ENGINEERING

PHONE: 817.381.0077
WWW.CLAYMOOREENGINEERING.COM
100 CENTRAL DR. SUITE 6000
ROCKWALL, TX 75087

REGISTERED LANDSCAPE ARCHITECT
STEPHEN W. SALES
STATE OF TEXAS
3470
04/07/2025

ROCKWALL STORAGE EXPANSION
2398 TX-276
ROCKWALL, TX 75032

NO.	DATE	REVISION	BY

DESIGN: JML
DRAWN: JML
CHECKED: SS
DATE: 04-07-25

SHEET
TD-2

File No. 2024-119

NO.	REVISIONS	DESCRIPTION	DATE

Rockwall Storage Expansion
An Expansion for The Storage Locker
2301 Hwy 276, Rockwall, Texas

PROJECT NUMBER
2506
DATE
03.12.25
SHEET NUMBER

PM1.0

photometrics site plan

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE	✕	0.1 fc	0.1 fc	0.0 fc	N/A	N/A
SITE	+	2.5 fc	20.4 fc	0.0 fc	N/A	N/A

SCHEDULE - NOT FOR USE IN CONSTRUCTION DOCUMENTS

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Distribution
○	CE	6	Lithonia Lighting	LDN6 40/25 LO6AR LD	6IN LDN, 4000K, 2500LM, CLEAR, MATTE DIFFUSE REFLECTOR, CR180		1	LDN6_40_25_LO6AR_LD.ies	2244	0.95	28.25	DIRECT, SC-0=1.02, SC-90=1.03
▭	D	20	Lithonia Lighting	WPX2 LED 40K Mvolt	WPX2 LED wallpack 6000lm 4000K color temperature 120-277 Volt		1	WPX2_LED_40K_Mvolt.ies	5896	0.95	47.77	TYPE III, VERY SHORT, BUG RATING: B1 - U0 - G1

Contractor Select™
WPX LED
Wall packs

The WPX LED wall packs are energy efficient, cost effective, and aesthetically appealing full cut off solution for both new construction and HID wall pack replacement/renovation opportunities. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life.



APPLICANT
APPLICANT: CLAYMOORE ENGINEERING
CONTACT PERSON: DREW DONOSKY
ADDRESS: 1903 CENTRAL DRIVE #406
BEDFORD, TX 76021
EMAIL: drew@claymooreeng.com
PHONE: 817.281.0572

DEVELOPER
DEVELOPER: MONTFORT CAPITAL PARTNERS, LLC
CONTACT PERSON: SHRENK SHAH
ADDRESS: 5151 BELTLINE RD, #725
DALLAS, TX 75254
EMAIL: shrenk.shah@montfortcp.com
PHONE: 469.368.2035

OWNER
OWNER: PRISM LEASING, LTD
CONTACT PERSON: _____
ADDRESS: 625 SUNSET HILL DR.
ROCKWALL, TX 75087
EMAIL: _____
PHONE: _____

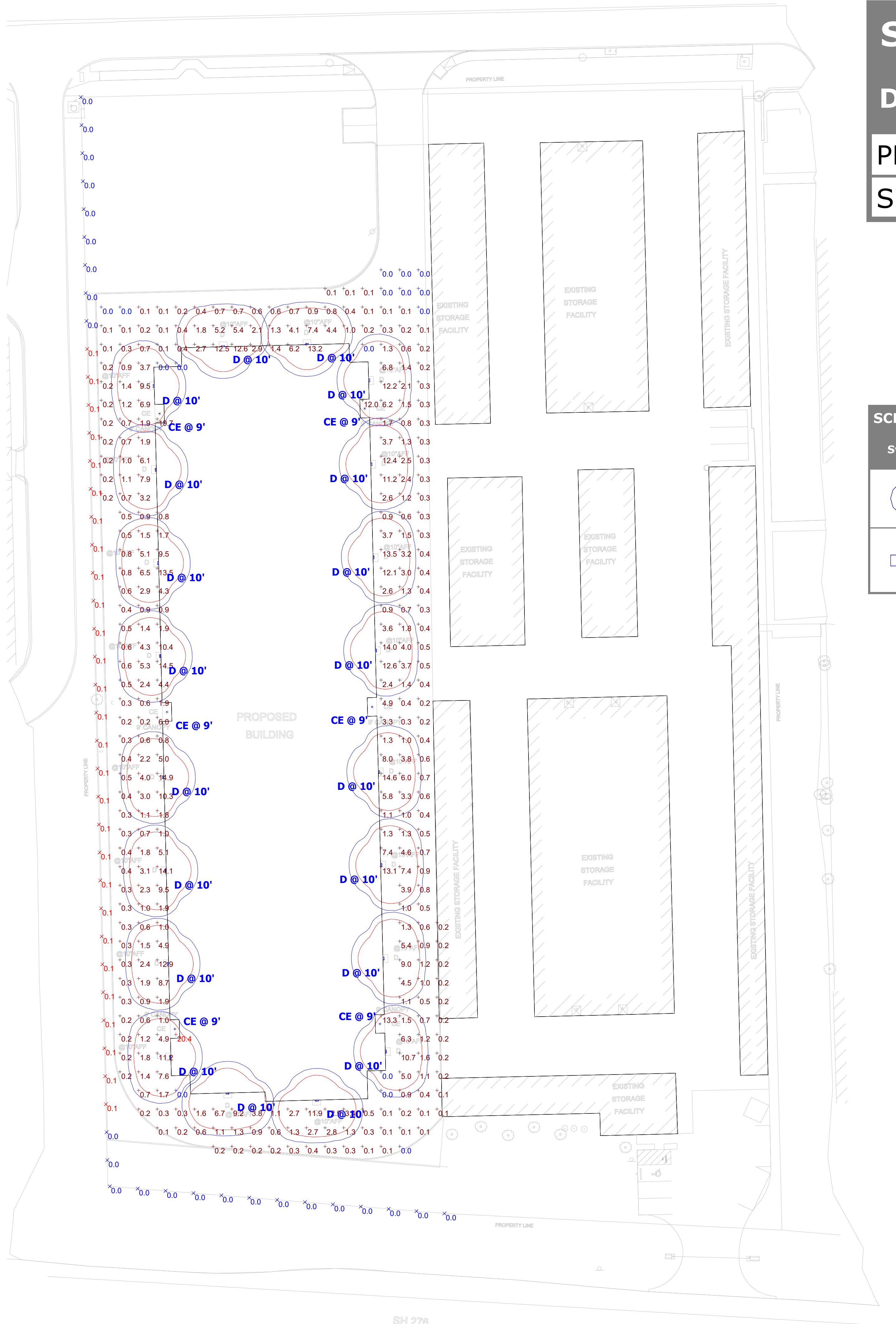
PROJECT
NAME: ROCKWALL STORAGE EXPANSION
ADDRESS: 2301 HIGHWAY 276
ROCKWALL, TX 75032
CASE#: _____

Note
1. ALL EXTERIOR CALCULATIONS ARE ASSUMED ON EVEN OR FLAT TERRAIN.
2. ALL EXTERIOR CALCULATIONS ARE TAKEN AT 0'-0" AFG.
3. VALUE NEXT TO LUMINAIRE LABEL DRAWING REPRESENTS OVERALL MOUNTING HEIGHT.

This document was prepared to convey a concept and not a detail working system. Spectrum Lighting San Antonio LLC makes no representation, express or implied, with respect to the use of the information conveyed in this document, regardless of its format or the means of its distribution. Any specific information regarding the installation must be provided by the manufacturer of the equipment. There is no guarantee or representation to the user as to the accuracy, currency, suitability, or reliability of this document for any purpose.

The fixture schedule above does not contain the complete fixture nomenclature required for construction or bidding purposes. The fixture nomenclature listed is the photometric file of the base fixture.

Please contact Spectrum Lighting San Antonio for a complete fixture schedule.



SH 276

Plan View
Scale - 1" = 32ft



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 15, 2025
APPLICANT: Frank Polma, PE; *R-Delta Engineers, Inc.*
CASE NUMBER: SP2025-012; *Site Plan for Rayburn Electric Cooperation*

SUMMARY

Discuss and consider a request by Frank Polma P.E. of R-Delta Engineers, Inc. on behalf of David Naylor of Rayburn Electric Cooperative for the approval of a Site Plan for a *Private Indoor Gun Range* on a 1.407-acre portion of a larger 48.6670-acre tract of land identified as Tract 3 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 44 (PD-44) [*Ordinance No. 24-30*] for Heavy Commercial (HC) District land uses, generally located on the northside of Mims Road west of the intersection of S. Goliad Street [*SH-205*] and Mims Road, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on May 19, 1986 by *Ordinance No. 86-37 [Case No. A1986-005]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the City's December 7, 1993 historic zoning map, at some point between the time of annexation and December 7, 1993, the subject property was rezoned from an Agricultural (AG) District to a Commercial (C) District. On August 5, 2024, the City Council approved a zoning case [*Case No. Z2024-028*] that incorporated the subject property into Planned Development District 44 (PD-44), where the underlying Commercial (C) District remained and the *Private Indoor Gun Range* was added as a *by-right* land use. The subject property has remained vacant since the time of annexation.

PURPOSE

On March 14, 2025, the applicant -- *Frank Polma, PE of R-Delta Engineers, Inc.* -- submitted an application requesting the approval of a Site Plan for the purpose of allowing the construction of a *Private Indoor Gun Range* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located on the northside of Mims Road west of the intersection of S. Goliad Street [*SH-205*] and Mims Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is 31.38-acre parcel of land (*i.e. Lot 1, Block A, REC Campus Addition*) that makes up the rest of the Rayburn Electric Cooperative (REC) campus, zoned Planned Development District 44 (PD-44) for Commercial (C) District and Heavy Commercial (HC) District land uses. Beyond this is Sids Road, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this are three (3) tracts of land (*i.e. Tract 8 of the J. D. McFarland Survey, Abstract No. 145; Lots 1 & 2, Block A, Brown & Brown Addition*) developed with a Rockwall Independent School District (RISD) bus barn, zoned Heavy Commercial (HC) District.

South: Directly south of the subject property is Mims Road, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Peachtree Meadows Subdivision, which consists of 292 residential lots zoned Planned Development District 101 (PD-101) for Single-Family 10 (SF-10) District land uses.

East: Directly east of the subject property is the remainder of the Rayburn Electric Cooperative (REC) campus, zoned Planned Development District 44 (PD-44) for Commercial (C) District and Heavy Commercial (HC) District land uses. Beyond this is S. Goliad Street [SH-205], which is identified as a P6D (i.e. principal, six [6] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is Phase 1 of the Hickory Ridge Subdivision, which consists of 139 lots on 41.67-acres. This subdivision was established on February 22, 2001 and is zoned Planned Development District 10 (PD-10) for Single-Family 7 (SF-7) District land uses.

West: Directly west of the subject property is Mims Road, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 48.6670-acre vacant tract of land (i.e. Tract 3 of the W. H. Barnes Survey, Abstract No. 26) zoned Agricultural (AG) District. Following this is Phase 1 of the Highland Meadows Subdivision, which consists of 100 lots on 25.93-acres. This subdivision was established on January 10, 1996 and is zoned Single-Family 7 (SF-7) District.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



DENSITY AND DIMENSIONAL REQUIREMENTS

According to *Exhibit 'D', Development Standards*, of Planned Development District 44 (PD-44) [Ordinance No. 24-30], a *Private Indoor Gun Range* is permitted *by-right*. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within Planned Development District 44 (PD-44) and the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the items noted in the *Variations and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>X=1.407-Acres; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>X=143.21-feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=191.82-feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>25-Feet</i>	<i>X>25-feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X>10-feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X>15-feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet</i>	<i>X=27.25-feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>X=5.22%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>9 Required Spaces</i>	<i>X=10; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>X=80.93%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X=19.07%; In Conformance</i>

TREESCAPE PLAN

The treescape plan provided by the applicant indicates that the development will result in the removal of 83 caliper inches of trees. Based on the landscape plan provided by the applicant, the development is proposing to plant 84 caliper inches or 21 canopy trees on-site, which will satisfy the tree mitigation requirements of the Unified Development Code (UDC).

CONFORMANCE WITH THE CITY'S CODES

The subject property is zoned Planned Development District 44 (PD-44) for Commercial (C) District land uses. According to *Exhibit 'D', Development Standards*, of Planned Development District 44 (PD-44) [Ordinance No. 24-30] a *Private Indoor Gun Range* is permitted *by-right*. In this case, the applicant has indicated that the facility will be for the exclusively used by Rayburn Electric Cooperative employees and their guests. To ensure private access to the *Private Indoor Gun Range* the subject property will be fenced and gated with ornamental metal fencing (*i.e. wrought-iron fencing*), which conforms to Subsection 08.04, *Non-Residential Fences*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC).

The proposed site plan generally conforms to the requirements of Planned Development District 44 (PD-44) and the *General Commercial District Standards*, stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variance(s) and exception(s) being requested as outlined in the *Variations and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variance(s) and exception(s):

- (1) Primary and Secondary Articulation. According to Subsection 04.01(C), *Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all commercial buildings shall meet the primary and secondary articulation requirements outlined in Figure 7, *Commercial Building Articulation Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC). In this case, each façade of the proposed building does not meet these requirements. This will require an exception from the Planning and Zoning Commission.
- (2) Landscape Buffer. According to Subsection 05.01, *Landscape Buffers*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), in addition to the tree planting requirements all landscape buffers "...shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage." In this case, the applicant is requesting to not incorporate berms into the landscape buffer along Mims Road. This will require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In addition, the code requires that the applicant provide compensatory measures that directly offset the requested

variances and exceptions. At this time the applicant is proposing the following compensatory measures: [1] additional architectural elements, [2] additional onsite tree plantings, and [3] building materials greater than surrounding non-residential properties. Staff should note, that the Planned Development District 44 (PD-44) ordinance [*Ordinance No. 24-30*] states that all buildings in PD-44 “shall incorporate complementary architectural styles, building materials, and colors.” In this case, the exception associated with the architectural standards is being requested due to design constraints related to a *Private Indoor Gun Range* and in order to maintain architectural consistency with the remainder of Rayburn Electric Cooperative’s corporate campus. Based on this staff is required to consider this building conforming in accordance with the requirements of the Planned Development District ordinance; however, requests for exceptions and variances to the *General Standards* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the *Southwest Residential District* and is designated for *Commercial/Industrial* and *Commercial/Retail* land uses on the Future Land Use Plan. Given that the proposed *Private Indoor Gun Range* land use is part of the large *Corporate Campus* (i.e. *Rayburn Electric Cooperative*) it appears to be in conformance with the *Commercial/Industrial* designation as outlined in the *Southwest Residential District*. In addition, according to the *District Strategies* for the *Southwest Residential District*, “(t)he areas around Sids Road, National Drive, and Mims Road are some of the only areas in the City that are designated for *Commercial/Industrial* land uses. As a result, these areas should be protected from the encroachment of incompatible land uses (i.e. *residential land uses -- higher density or otherwise*). This should protect the businesses that currently exist in these areas.” Since the proposed *Private Indoor Gun Range* is associated with an existing *Corporate Campus* (i.e. *Rayburn Electric Cooperative*), the applicant’s request appears to meet the intent of the *District Strategies*. Based on all this information, the proposed *Private Indoor Gun Range* appears to be in conformance with the Comprehensive Plan.

In addition, the proposed changes to the subject property help further the following goals and objectives contained in the OURHometown Vision 2040 Comprehensive Plan:

- (1) *CH. 07 | Goal 05*: Allow only high-quality buildings that are constructed for the long-term value of the community, are easily adaptable to the changing market conditions, and that reflect a sense of permanence and public pride ... [*Policy 1*] All building should be architecturally significant, reflecting characteristics of the community.
- (2) *CH. 08 | Goal 01*: All non-residential developments should create distinctive destinations that further a sense of place and will attract people to the community.
- (3) *CH. 08 | Goal 03*: All non-residential buildings should be designed so that negative visual impacts of the development are minimized ... [*Policy 1*] Large industrial developments should utilize a campus design style (i.e. *utilizing green spaces adjacent to roadways, incorporating pedestrian scale elements throughout the development, assimilating functional green spaces into the development, using traditional architecture characteristics, etc.*) to further the small-town, park-like feeling that is characteristic of the City of Rockwall.

In this case, the proposed *Private Indoor Gun Range* utilizes the same design and architectural style as Rayburn Electric Cooperative *Corporate Campus*. Based on this, the applicant’s proposal appears to be in substantial conformance to many of the policies and goals that relate to commercial/industrial developments.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On March 25, 2025, the Architecture Review Board approved a motion to approve the Site Plan by a vote of 3-0, with Board Members Miller, McAngus, Dalton, and Kirkpatrick absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the *Private Indoor Gun Range* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 950 Sids Road, Rockwall TX 75032

SUBDIVISION REC Campus Addition LOT 3 BLOCK A

GENERAL LOCATION 1,200+/- feet southeast along Mims Rd from the intersection of Sids Rd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-44

CURRENT USE Commercial - vacant

PROPOSED ZONING PD-44

PROPOSED USE Commercial-Indoor Shooting Range

ACREAGE 1.407

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rayburn Electric Cooperative

APPLICANT R-Delta Engineers, Inc.

CONTACT PERSON David Naylor

CONTACT PERSON Frank A. Polma, P.E.

ADDRESS 950 Sids Rd

ADDRESS 618 Main Street

CITY, STATE & ZIP Rockwall Tx 75032

CITY, STATE & ZIP Garland, Texas 75040

PHONE 469 402 2100

PHONE 972-494-5031

E-MAIL dnaylor@rayburnelectric.com

E-MAIL fapolma@rdelta.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Naylor [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

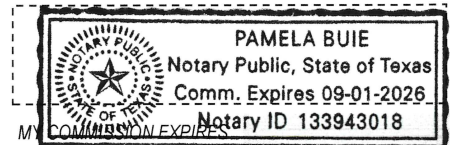
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \$278.14 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF March, 2025 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF March, 2025

OWNER'S SIGNATURE

[Handwritten Signature]


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





SP2025-012: Site Plan for an Indoor Commercial Amusement/Recreation Facility



Case Location Map = 

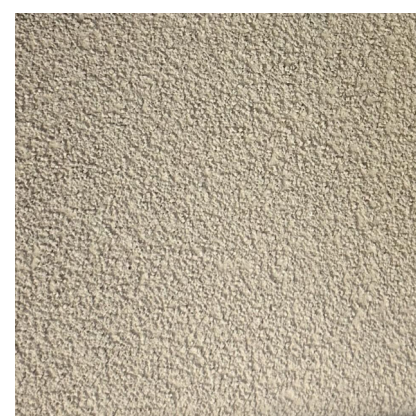


City of Rockwall

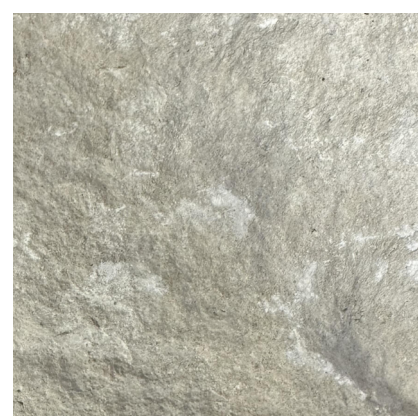
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

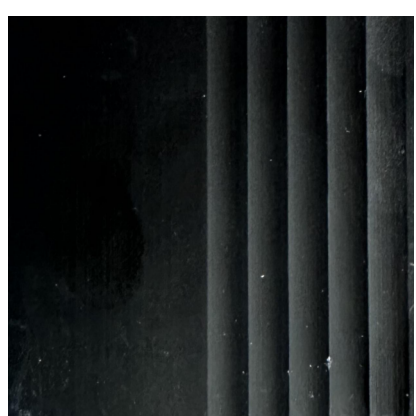




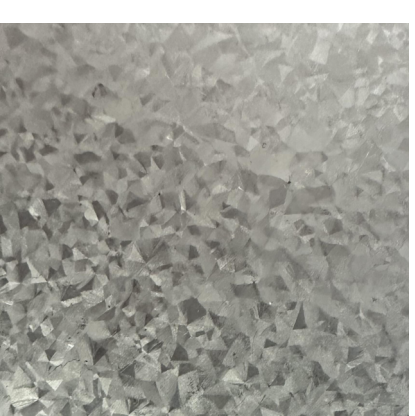
STUCCO -
SW9111 VELVET
ANTLER



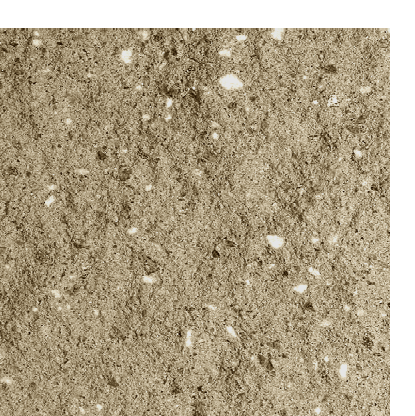
STONE - BUFF
LUEDERS
LIMESTONE



DARK BRONZE
ALUM. FRAME



GALVALUME

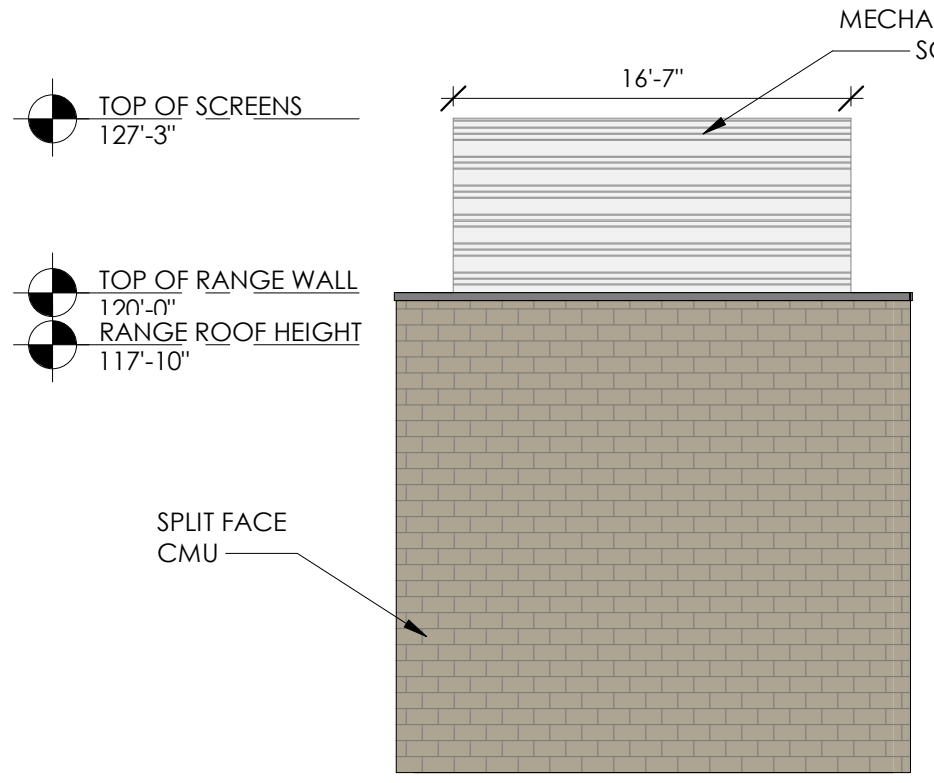


SPLIT FACE
CMU - SW9111
VELVET ANTLER

FINAL MECHANICAL SCREEN DIMENSIONS SUBJECT TO
FINAL VENTILATION DESIGN SIZE.

BUILDING MATERIAL CALCULATIONS FOR WALLS		
CATEGORIES	WEST	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS, DOORS AND ROOF	420 S.F	100%
Split face CMU - Velvet antler SW 9111	420 S.F	100%

GENERAL NOTE: ROOF AND MECHANICAL NOT PART OF
ELEVATION CALCULATIONS

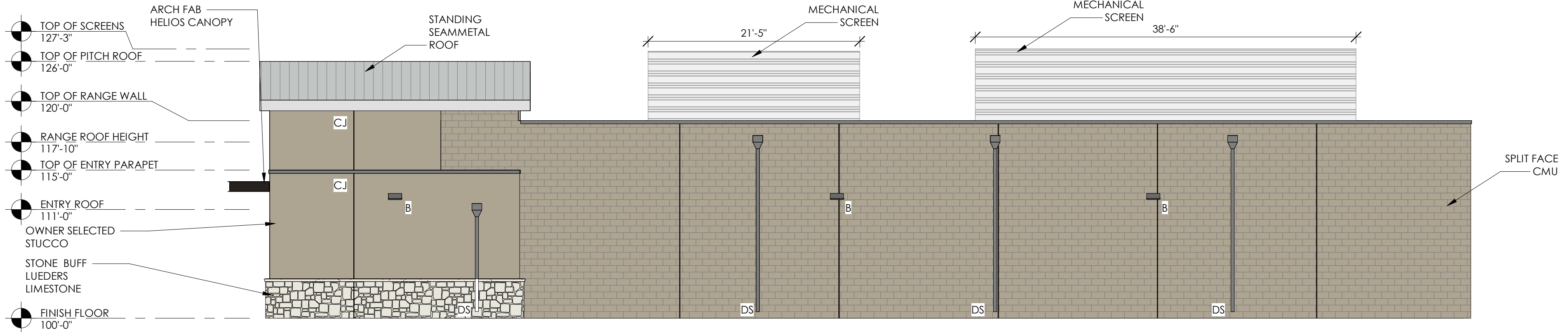


4 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING MATERIAL CALCULATIONS FOR WALLS		
CATEGORIES	WEST	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS, DOORS AND ROOF	2416 S.F	100%
Stucco - Velvet antler SW 9111	375 S.F	16%
Stone - Buff Lueders limestone	105 S.F	4%
Split face CMU - Velvet antler SW 9111	1936 S.F	80%

FINAL MECHANICAL SCREEN DIMENSIONS SUBJECT TO
FINAL VENTILATION DESIGN SIZE.

GENERAL NOTE: ROOF AND MECHANICAL NOT PART OF
ELEVATION CALCULATIONS

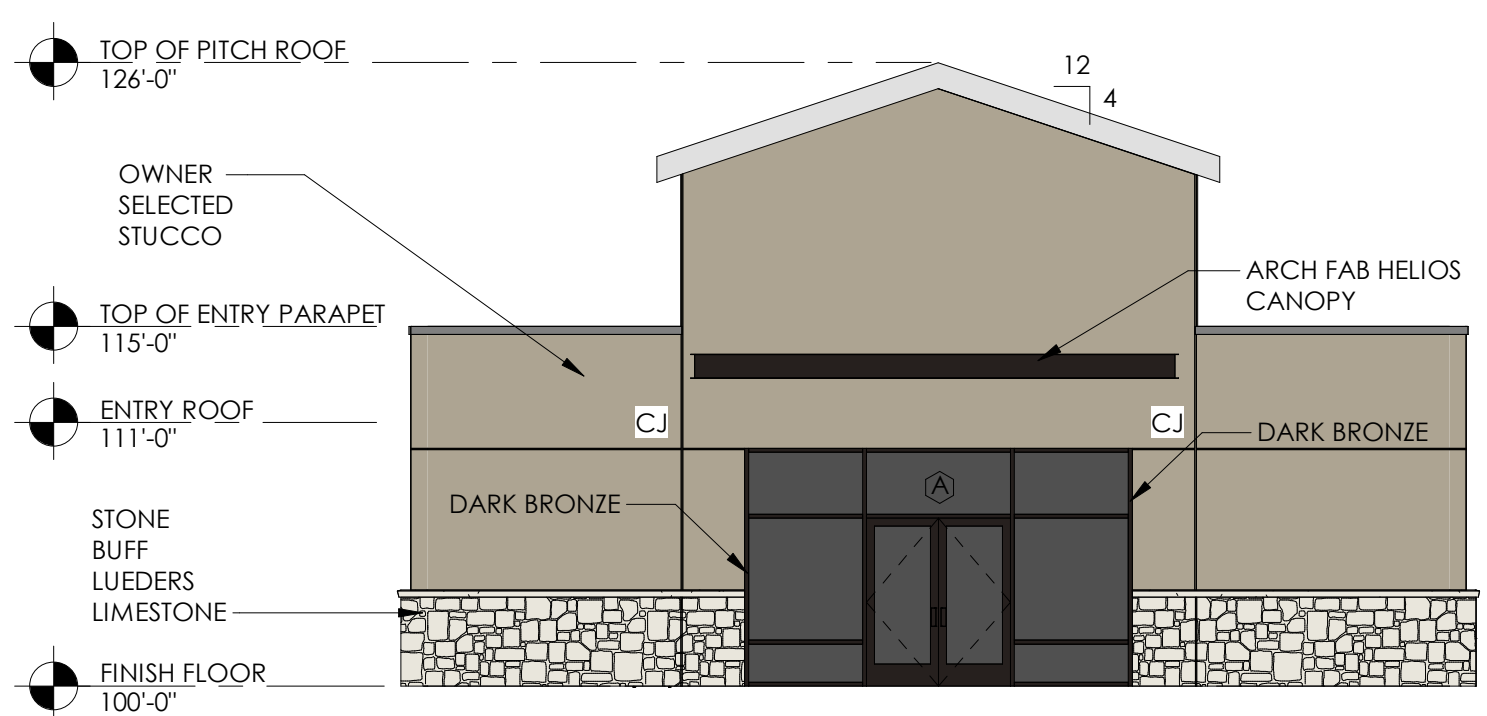


3 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING MATERIAL CALCULATIONS FOR WALLS		
CATEGORIES	WEST	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS, DOORS AND ROOF	670 S.F	100%
Stucco - Velvet antler SW 9111	555 S.F	83%
Stone - Buff Lueders limestone	115 S.F	17%

FINAL MECHANICAL SCREEN DIMENSIONS SUBJECT TO
FINAL VENTILATION DESIGN SIZE.

GENERAL NOTE: ROOF AND MECHANICAL NOT PART OF
ELEVATION CALCULATIONS



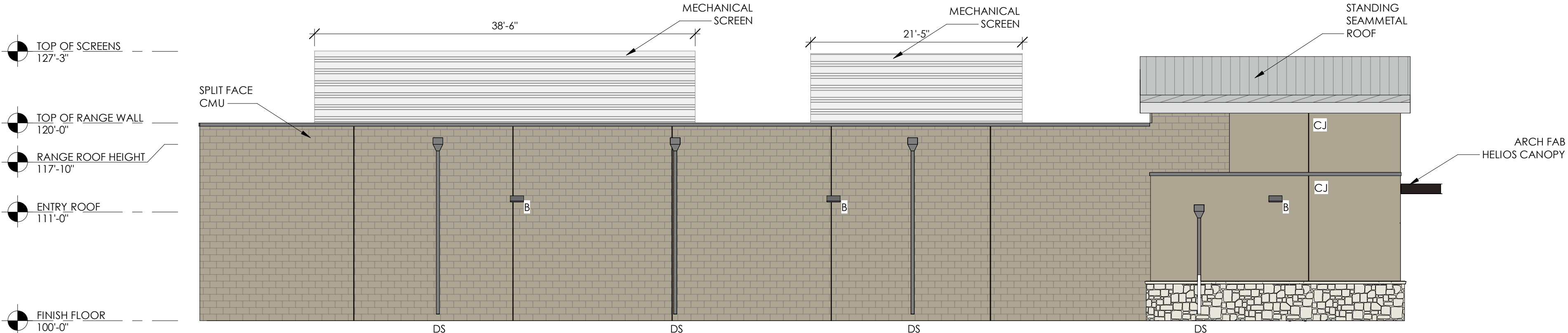
2 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

SHOOTING RANGE

BUILDING MATERIAL CALCULATIONS FOR WALLS		
CATEGORIES	WEST	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS, DOORS AND ROOF	2416 S.F	100%
Stucco - Velvet antler SW 9111	375 S.F	16%
Stone - Buff Lueders limestone	105 S.F	4%
Split face CMU - Velvet antler SW 9111	1936 S.F	80%

FINAL MECHANICAL SCREEN DIMENSIONS SUBJECT TO
FINAL VENTILATION DESIGN SIZE.

GENERAL NOTE: ROOF AND MECHANICAL NOT PART OF
ELEVATION CALCULATIONS



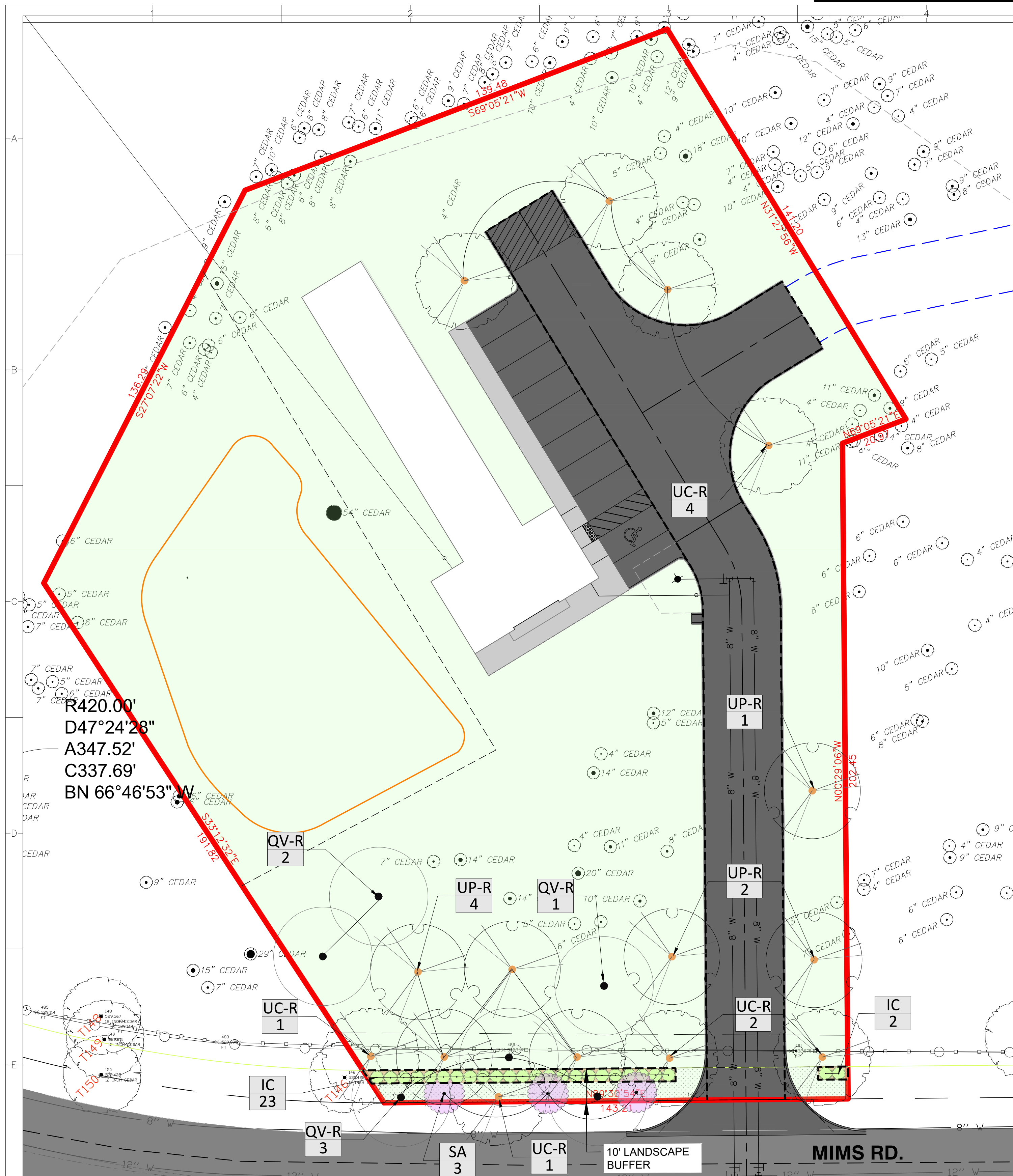
1 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



Plant Schedule

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
	UC	8	Ulmus crassifolia	Cedar Elm	65 gal.	4" Caliper, Min 12' Ht., 7' Spread
	UP	7	Ulmus parvifolia	Lacebark Elm	65 gal.	4" Caliper, Min 12' Ht., 7' Spread
	QV	6	Quercus virginiana	Live Oak	65 gal.	4" Caliper, Min 12' Ht., 7' Spread
	SA	3	Sophora affinis	Eve's Necklace	45 gal.	3" Caliper, Min 6' Ht., 4' Spread

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	IC	25	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	10 gal.	Cont.	4' O.C., Min. 3' Ht.

GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS
	Ber c11	45,975 s.f.	Tif Tuf Bermuda	Tif Tuf Bermuda Grass	Solid Sod
	Shd mul	425 s.f.		Shredded Hardwood Mulch	--

NOTES

- "The owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscaping. All required landscaping shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding, and such activities common to the maintenance of landscaping"
- "Landscape areas shall be kept free of trash, litter, weeds and other such material or plants not a part of the landscaping"
- "No substitutions for plant materials without approval by the Director"
- "The right-of-way adjacent to required landscape areas shall be maintained by the property owner in the same manner as the required landscape area. All driveways shall maintain site visibility. All plantings intended for erosion control will be maintained. The City may require revegetation to prevent erosion or slippage"
- "All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant materials which die shall be replaced with plant material of similar variety and size"
- "When overhead or underground utilities are present, landscape plan alterations may be considered by the Director"
- "All required landscape areas shall be provided with an automatic underground irrigation system with rain and freeze sensors and/or evapotranspiration (ET) weather-based controllers and said irrigation system shall be designed by a qualified professional and installed by a licensed irrigator"
- "All trees are to be equipped with a bubbler irrigation system"
- "Required landscaped open areas and disturbed soil areas shall be completely covered with living plant material"
- "All streetscape furniture (benches, lampposts, trash receptacles, patio furniture, bike racks, etc.) shall be a chip and flake resistant metal, decorative, and generally black "storm cloud" or comparable in color"
- "Excessive pruning of plant materials is prohibited. (e.g. topping crape myrtles, pruning "up" creating a carrot top)"
- "All transformers and mechanical equipment to be screened with evergreen shrubs, to be 2' at time of planting."
- No Tree Planting within 5 feet of water/storm sewer lines.

LANDSCAPE REQUIREMENTS

Total Site Area - 61,277 SF = 1.41 Acres

Site Landscape Area
Total Site Landscape Area - 46,400 SF = 76% of Site
45,975 SF TURF PROVIDED
425 SF LANDSCAPE PLANTING BED PROVIDED

Landscape Buffer Components Street Frontage- Mims Rd.
Total (10' Wide) Required Landscape Buffer Area - 1,169 SF
Total (10' Wide) Provided Landscape Buffer Area - 1,169 SF

425 SF OF LANDSCAPE BED
744 SF OF TURF PROVIDED

Landscape Buffer Trees Street Frontage- Mims Rd.
Street Frontage Length - 143 LF
1 Canopy Tree per 50 LF of Street Frontage (Min. 4" Cal.)
1 Accent Tree per 50 LF of Street Frontage (6" Ht. Min.)

3 CANOPY / 3 ACCENT TREES REQUIRED
3 CANOPY / 3 ACCENT TREES PROVIDED

Landscape Parking Trees
1 Canopy Tree/10 parking spaces
1 Tree within 80' of each parking space

1 TREE REQUIRED

4 TREES PROVIDED

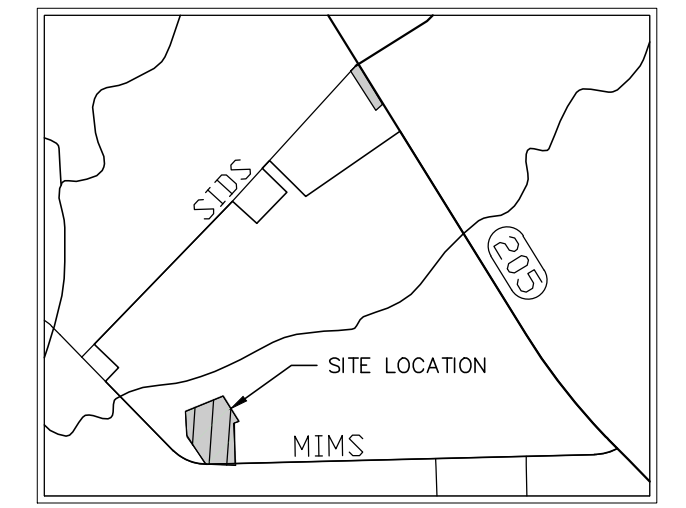
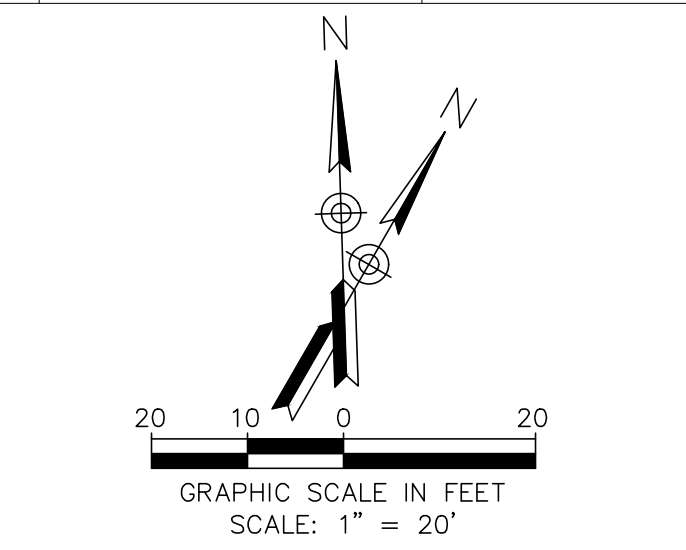
IRRIGATION:

An automatic irrigation system will be installed by the Owner, to water the required landscape improvements. Irrigation plans to be provided.

NOTE:

Landscape Plans shall meet requirements in the Unified Development Code-Article 8 with exceptions granted to Owner.

Trees that are existing within the landscape buffer or limbs that enter into the landscape buffer shall be pruned by a certified arborist. It shall be pruned to allow for sunlight to filter through the existing tree to facilitate success of newly planted trees.



LEGEND

- LO 3 PLANT SYMBOL REF. PLANT SCHEDULE PLANT QUANTITY
- LO-R 3 -R = REPLACEMENT TREE FOR MITIGATION REF. PLANT SCHEDULE PLANT QUANTITY
- EXISTING TREES TO REMAIN
- METAL EDGING @ PLANTING BED BORDER WITH TURF, QUANTITY- 226 L.F.

TREE MITIGATION REQUIREMENTS

Site Trees Existing- See Tree Listing

Site Trees Removed- See Proposed Tree Removal Listing
58 Total Caliper inches to be removed that require mitigation

Tree Designation-
Non-Protected- 0 Caliper Inch required to replace
Secondary- 1/2" Caliper Inch per 1" Caliper removed required to be replaced
Primary- 1" Caliper Inch per 1" Caliper removed required to be replaced
Feature- 2" Caliper Inch per 1" Caliper removed required to be replaced

Calculation-
Replacement Inches needed **83** , Replace with 4" Caliper Trees
83/4"= 22 Trees Required

21 CANOPY TREES REQUIRED
21 CANOPY TREES PROVIDED

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____.

WITNESS OUR HANDS, this ___ day of _____

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

0	03/31/2025	BS	BS	BS	ISSUED FOR REVIEW
REV	DATE	REV. BY	P.M.	ENG.	REVISION/RELEASE

REC
Rayburn Electric
COOPERATIVE

618 Main Street
Garland, TX 75040
Ph. (972) 494-5031
Fax (972) 487-2270
www.rdelta.com
TBPE No. F-1515

rdelta
ENGINEERS

DUNKIN
SIMS
STOFFELS
INC.



THE ORIGINAL APPEARING ON THIS DOCUMENT IS VALID IF, AND ONLY IF, ACCOMPANIED BY AN ORIGINAL SIGNATURE OF THE REGISTRANT AND DATE OF EXECUTION. DOCUMENTS NOT BEARING EACH OF THE 3 ABOVE-MENTIONED ITEMS SHALL BE CONSIDERED INCOMPLETE AND SHALL NOT BE USED FOR CONSTRUCTION, PERMIT, OR BIDDING PURPOSES.

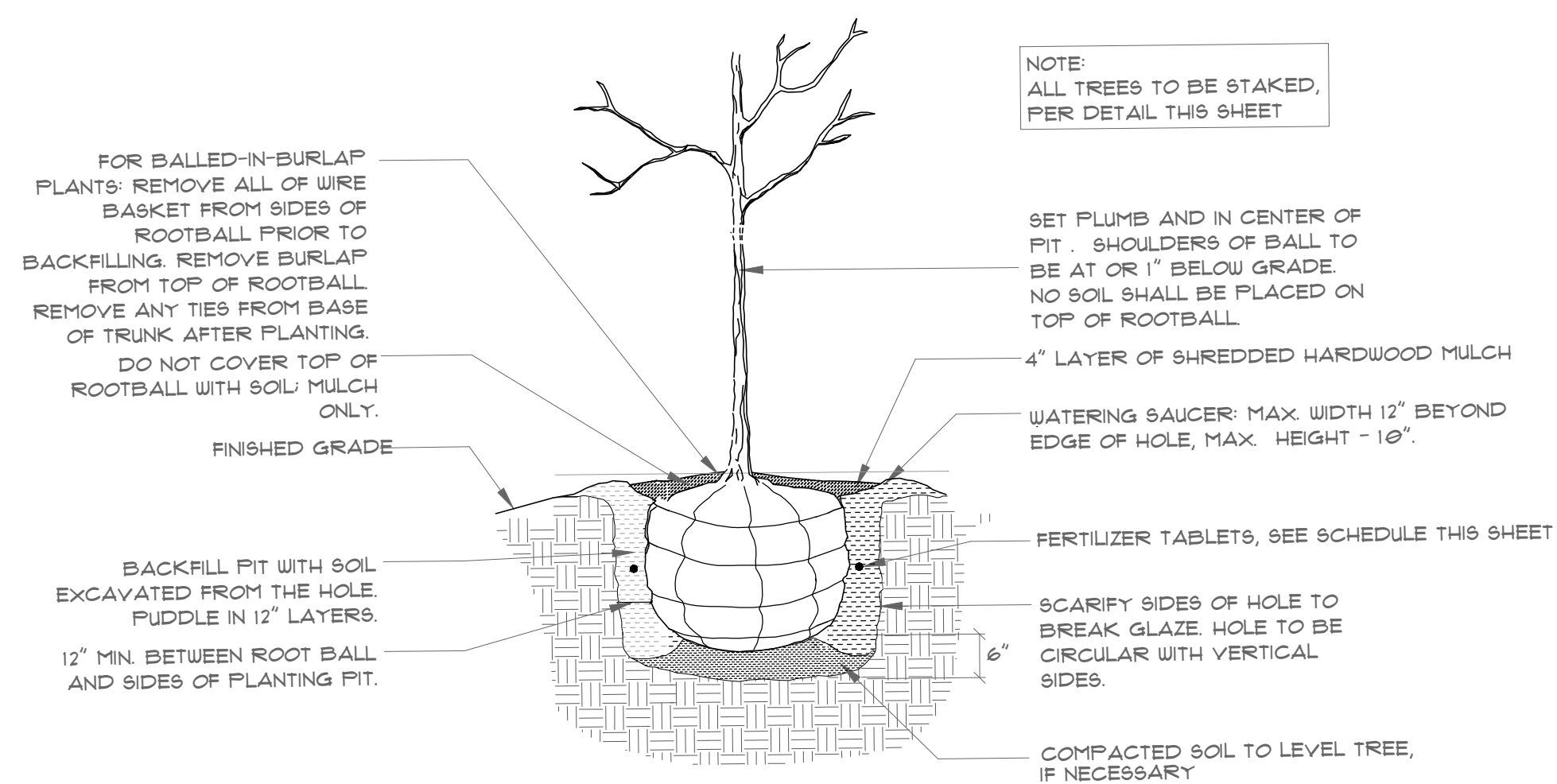
THIS DRAWING IS RELEASED FOR REVIEW FOR BIDDING AND PERMITTING UNDER THE AUTHORITY OF ROBERT P. STOFFELS, LA #1025 ON APRIL 1, 2025.

JOB NO.	3036-21	DESIGN BY	BS
CREATED		CODE	
PLOTTED	3/31/2025	CHECKED BY	BS
LAST UPDATE BY _____			
DRAWN:	MW	SCALE:	AS NOTED
CHECKED:		DRAWING NO.:	
APPROVED:		ISSUE:	
FILENAME:			

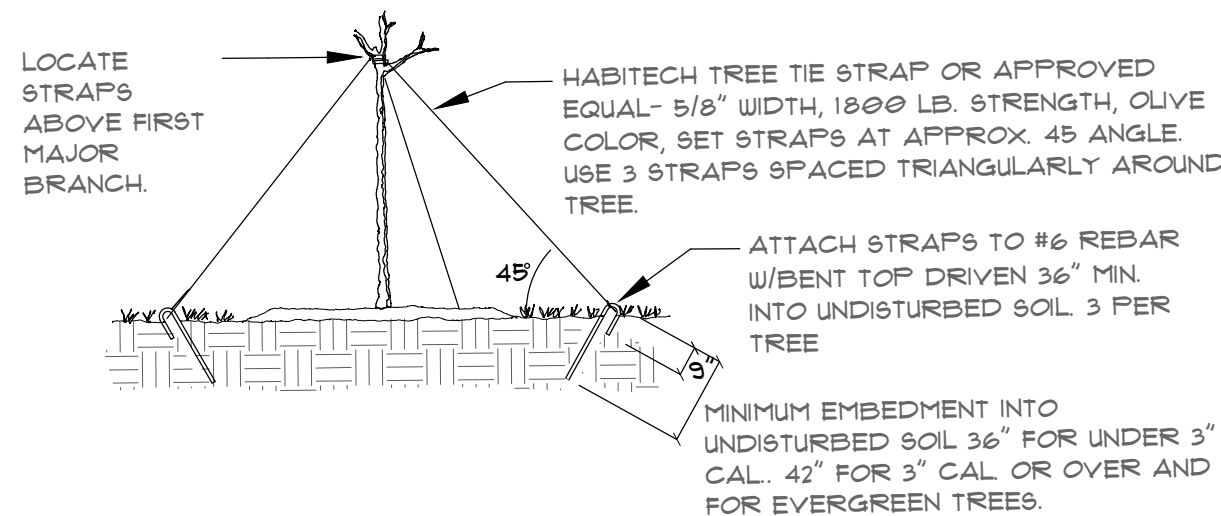
REC CAMPUS -
INDOOR SHOOTING
LANDSCAPE PLANS

LANDSCAPE PLAN

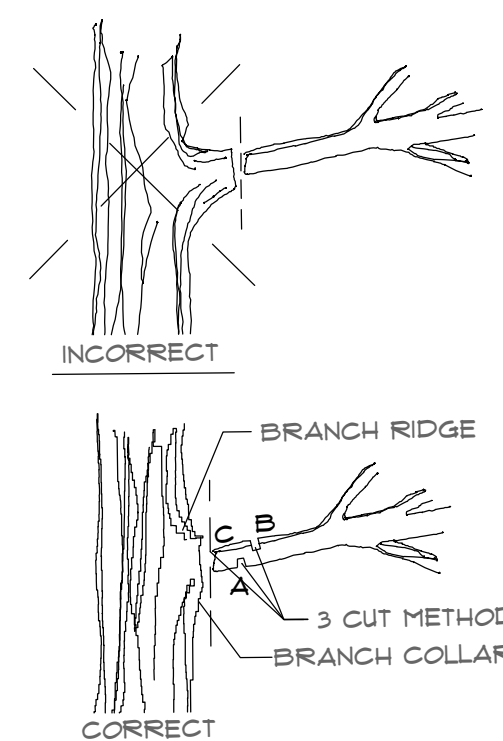
LP-2 0



A SECTION: TREE PLANTING - B&B, BOX, CONT. NTS

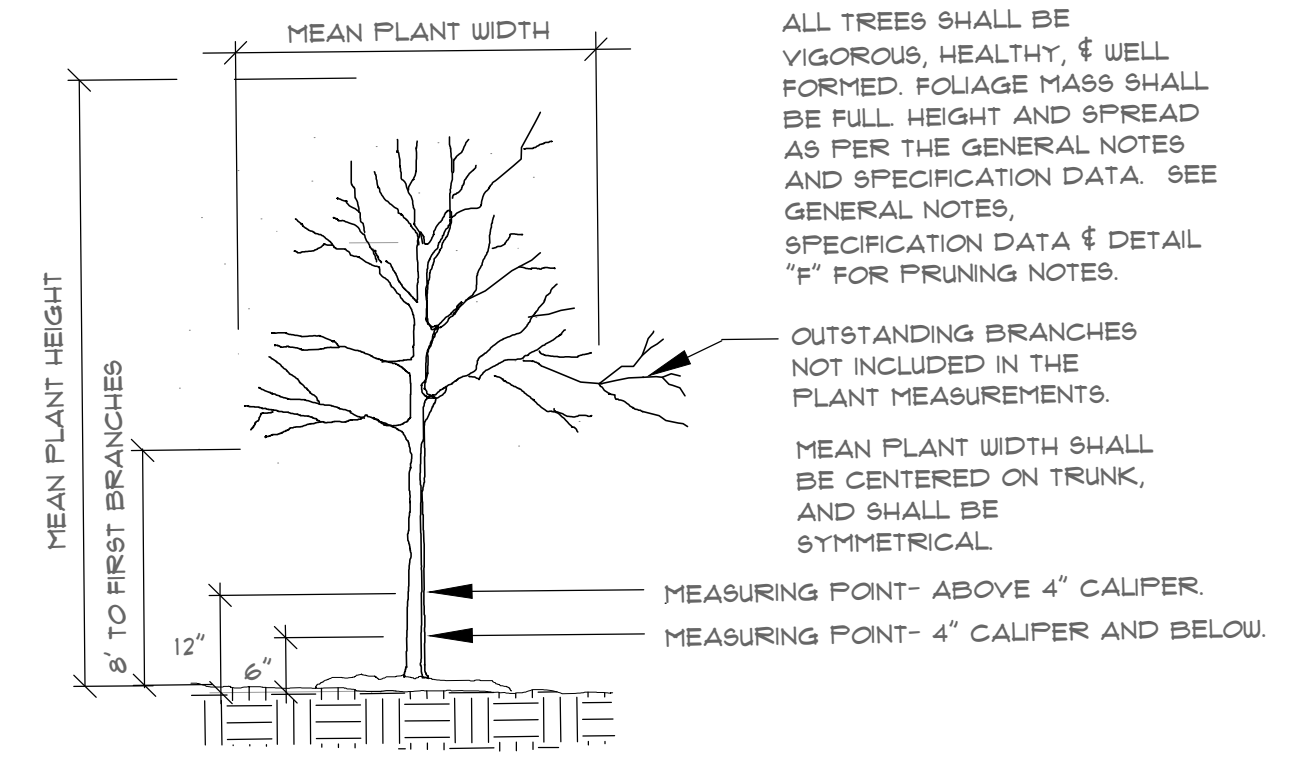


B SECTION: TREE GUYING NTS



- PRUNING NOTES:**
1. REMOVE ALL BROKEN, DISEASED, OR WEAK BRANCHES.
 2. MAKE ALL CUTS AS CLOSE TO THE BRANCH AS POSSIBLE-LEAVE THE BRANCH COLLAR DO NOT CUT A LEADER.
 3. PRUNE 90 AS TO RETAIN THE NATURAL FORM OF THE TREE
 4. REMOVE APPROXIMATELY 1/3 OF INTERIOR BRANCHING.
 5. DO NOT TIP PRUNE.
 6. CONTACT LANDSCAPE ARCHITECT PRIOR TO PRUNING FOR FURTHER INSTRUCTIONS.
 7. CUTS OVER 1/2" DIAMETER MADE TO TREES OF THE OAK FAMILY (IE RED OAK, LIVE OAK, BUR OAK, ETC.) FROM FEBRUARY 15 - DECEMBER 15 SHALL BE PAINTED WITH TREE PRUNING PAINT IMMEDIATELY FOLLOWING PRUNING (ONE HOUR MAX.) APPLY SUFFICIENT COATS TO ENSURE SEALING OF THE CUT.
 8. REMOVE LARGE LIMBS BY PERFORMING THE 3-CUT METHOD.

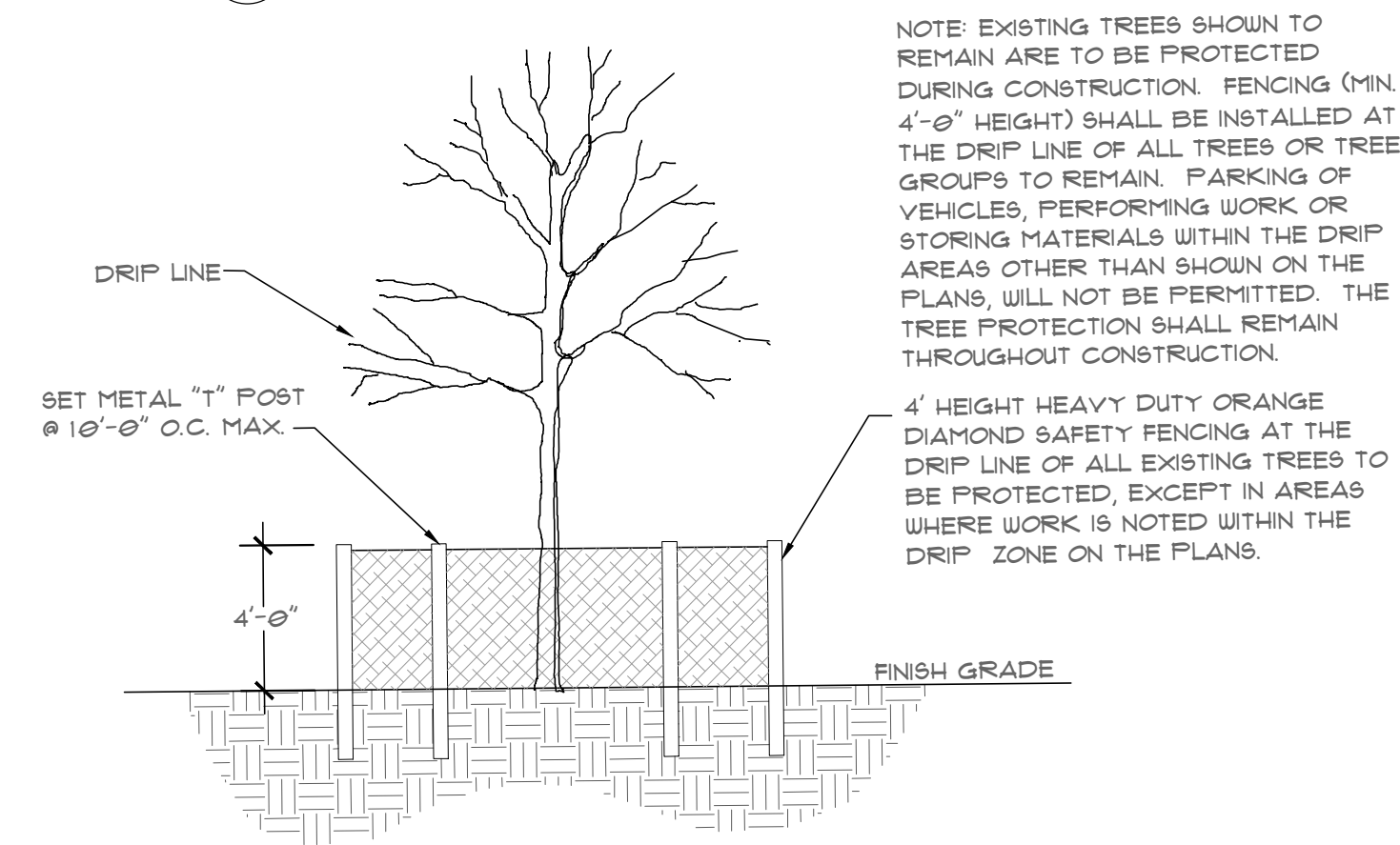
C SECTION: TREE PRUNING NTS



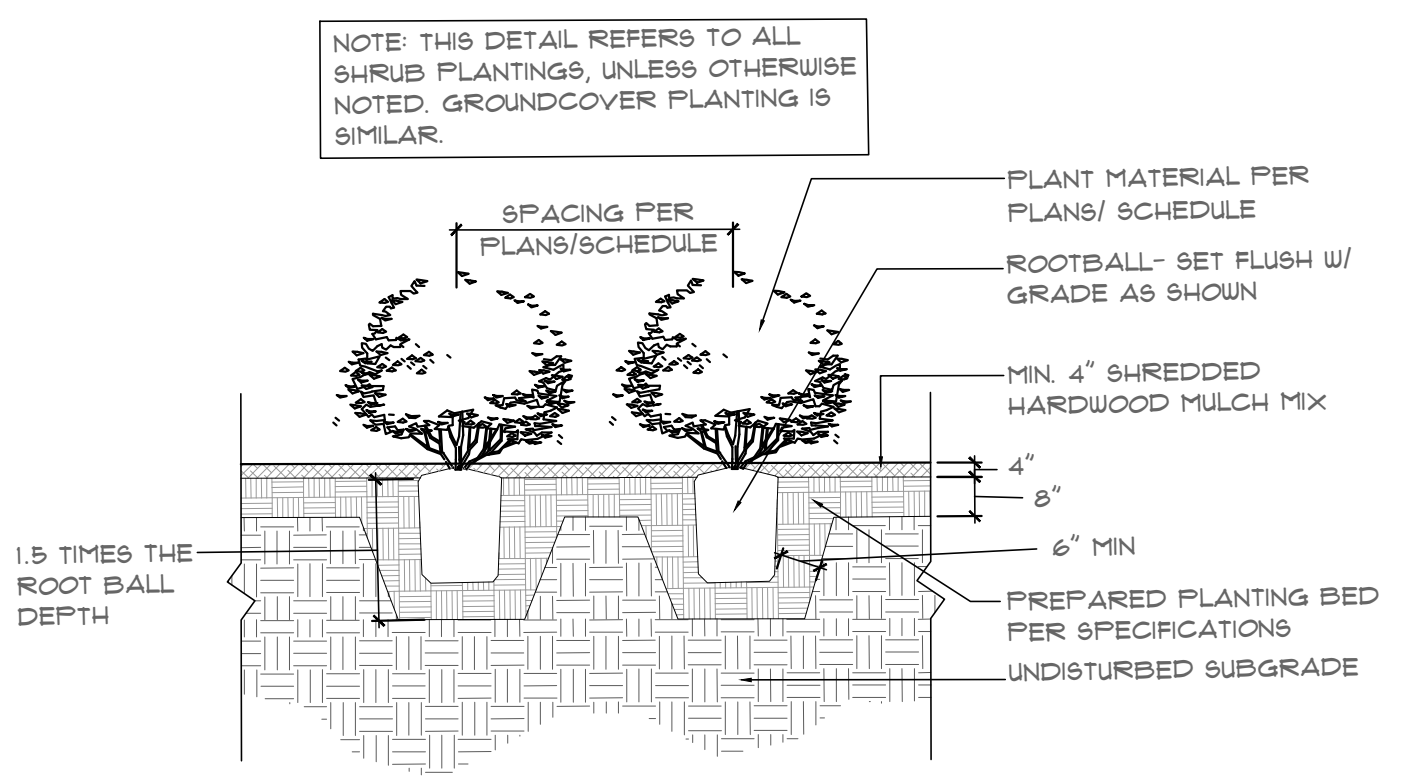
D SECTION: TREE MEASURING NTS

TREES		SHRUBS AND PERENNIALS:
5-GALLON TREES 2 AGRIFORM* 21 GRAM TABLETS		1-GALLON AND SMALLER 1 AGRIFORM* 21 GRAM TABLET
15-GALLON TREES 3 AGRIFORM* 21 GRAM TABLETS		3 TO 5-GALLON AND B&B MATERIAL WITH SPREADS TO THREE (3) FT. 2 AGRIFORM* 21 GRAM TABLETS
30-GALLON AND ALL B&B MATERIAL 1 AGRIFORM* 21 GRAM TABLET PER CALIPER EACH ONE-HALF (1/2) INCH OF CALIPER		15-GALLON AND B&B MATERIAL WITH SPREADS GREATER THAN THREE (3) FT. 3 AGRIFORM* 21 GRAM TABLETS
SPACE TABLETS EVENLY AROUND ROOT BALL APPROX. 8" BELOW GRADE. PLACE NEXT TO BALL		PLACE TABLETS AT A DEPTH APPROX 1/3 BALL DEPTH AND NEXT TO BALL
* OR APPROVED EQUAL		* OR APPROVED EQUAL

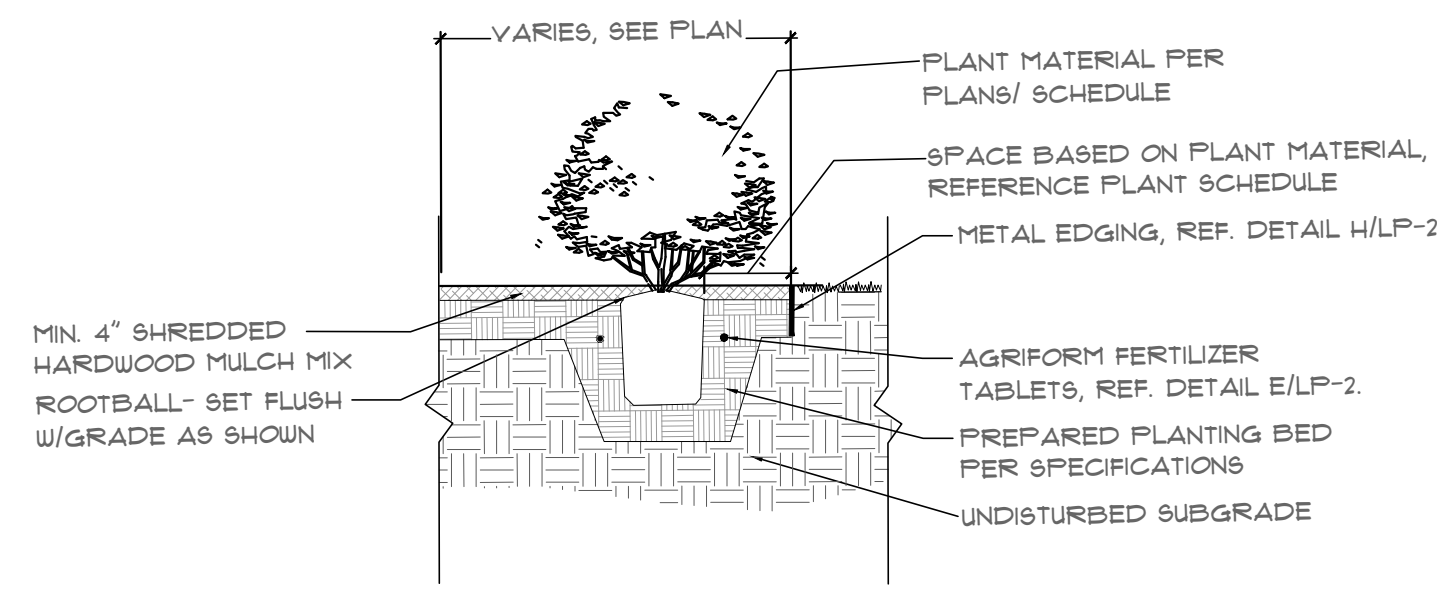
E CHART: FERTILIZER SCHEDULE



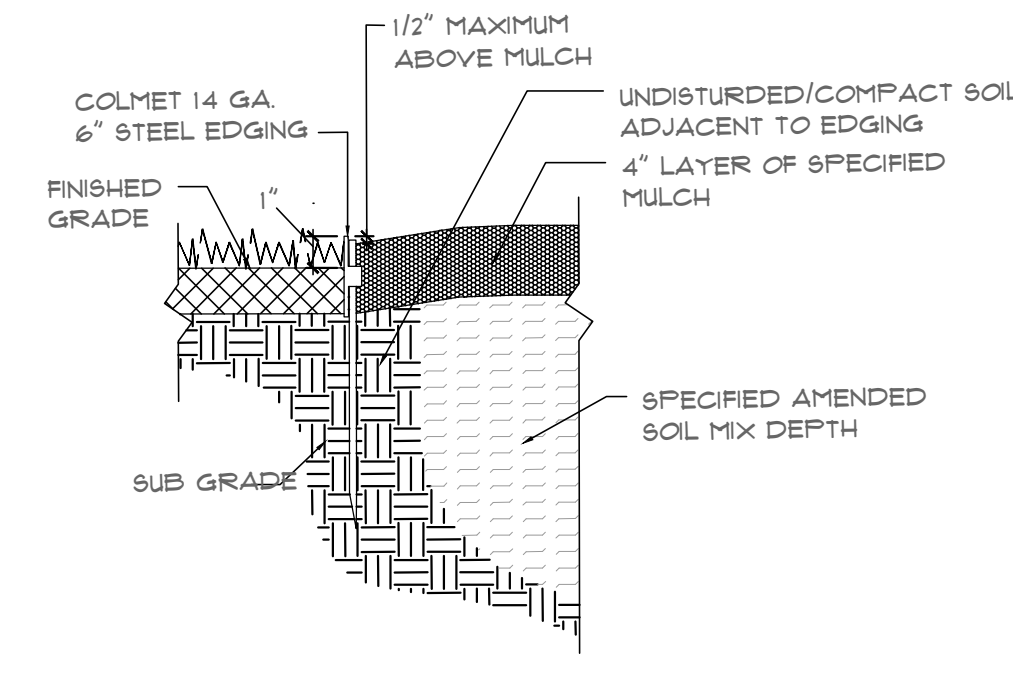
C SECTION: TREE PROTECTION NTS



F DETAIL: LANDSCAPE BED W/ MULCH NOT TO SCALE



G SECTION: LANDSCAPE BED W/ MULCH AND METAL EDGING NOT TO SCALE



H SECTION: METAL EDGING NOT TO SCALE

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____.

WITNESS OUR HANDS, this ___ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

0	03/31/2025	BS	BS	BS	ISSUED FOR REVIEW
REV	DATE	REV. BY	P.M.	ENG.	REVISION/RELEASE

REC
Rayburn Electric COOPERATIVE

618 Main Street
Garland, TX 75040
Ph. (972) 494-5031
Fax (972) 487-2270
www.rdelta.com
TBPE No. F-1515

rdelta
ENGINEERS

DUNKIN SIMS STOFFELS INC.

REGISTERED LANDSCAPE ARCHITECT
ROBERT P. STOFFELS
1025
STATE OF TEXAS

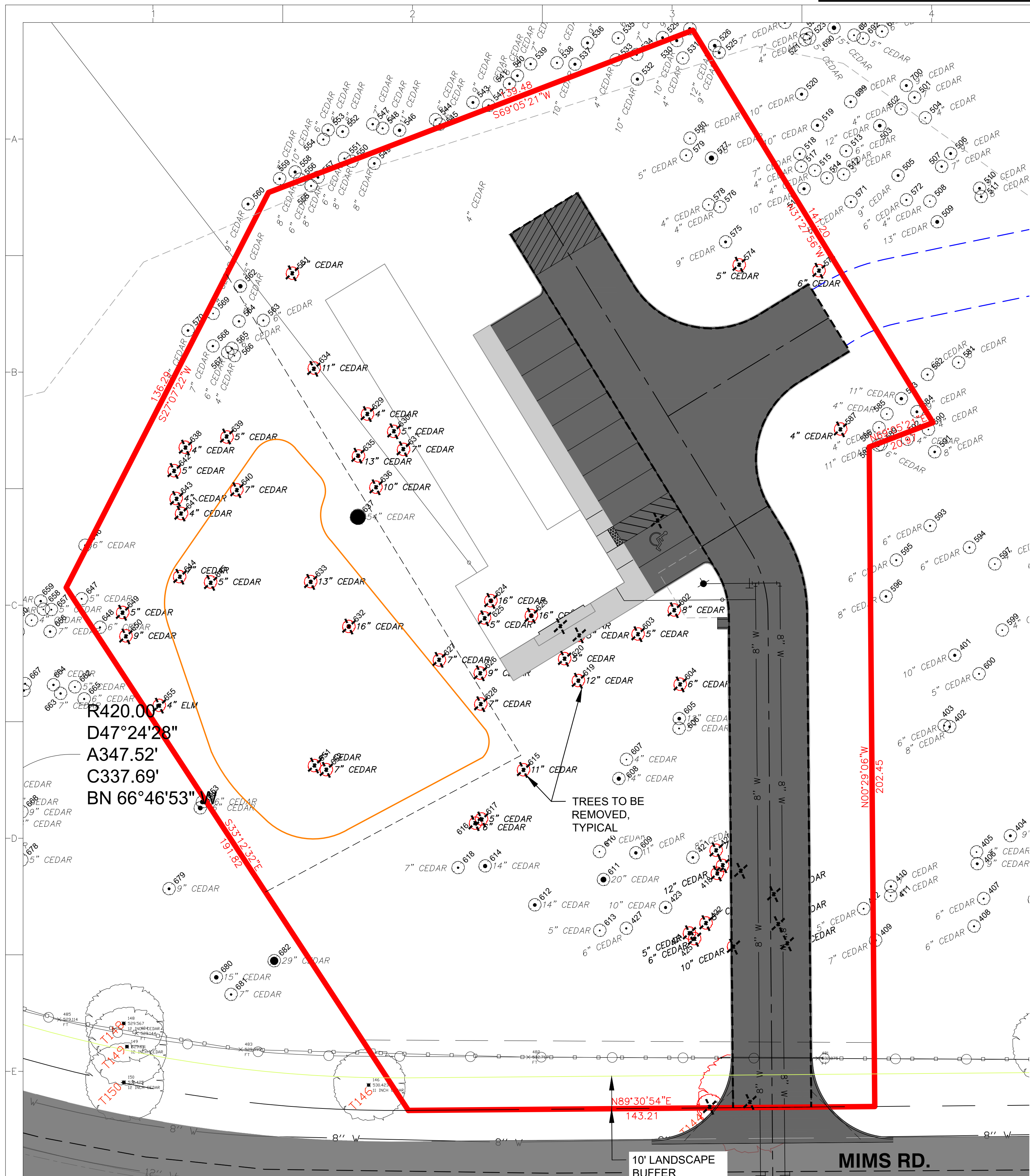
Robert P. Stoffels 4/1/25

THIS DRAWING IS RELEASED FOR REVIEW FOR BIDDING, AND PERMITTING UNDER THE AUTHORITY OF ROBERT P. STOFFELS, LA #11025 ON APRIL 1, 2025.

JOB NO.	3036-21	DESIGN BY	BS
CREATED		CODE	
PLOTTED	3/31/2025	CHECKED BY	BS
LAST UPDATE BY			
DRAWN:	MW	SCALE:	AS NOTED
CHECKED:		DRAWING NO.:	LP-3
APPROVED:		ISSUE:	0
FILENAME:			

REC CAMPUS-INDOOR SHOOTING LANDSCAPE PLANS

LANDSCAPE DETAILS

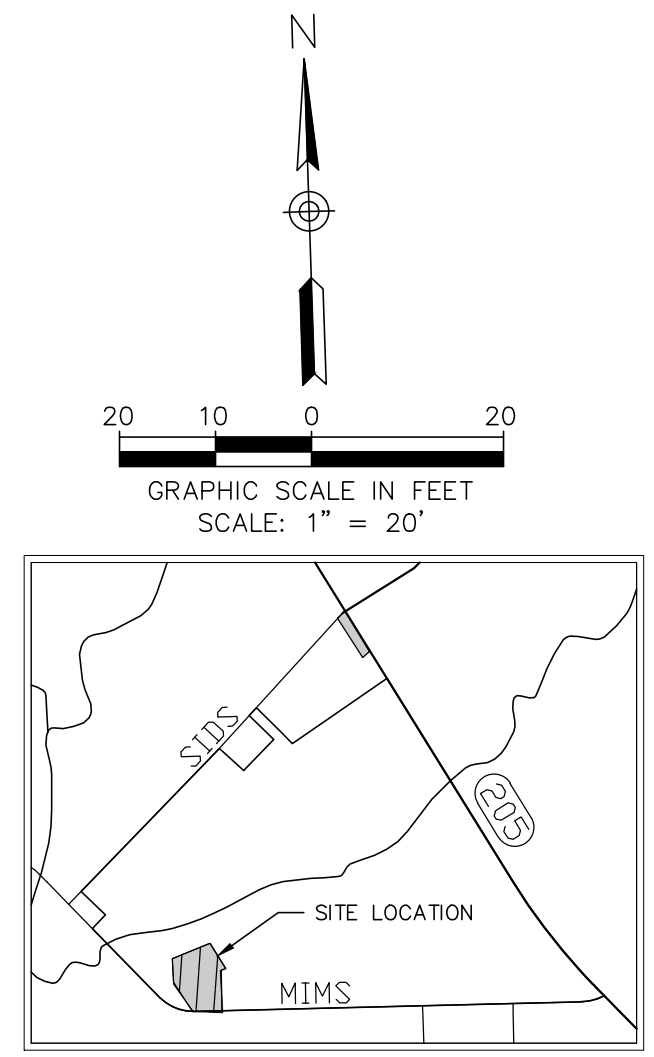


Site Tree Listing
Rayburn Electric Cooperative-Indoor Shooting Range
March 14, 2025

Location Key	Size DBH (Inches)	Description	Common Name	Comments	Tree Designation	Removal Status	Replacement Caliper Inches		
					Feature	Primary	Non-Protected		
144	4	ELM				Remove	4		
145	16	CEDAR				Remove	8		
146	11	CEDAR				To Remain			
401	10	CEDAR				To Remain			
409	7	CEDAR				To Remain			
412	5	CEDAR				To Remain			
413	6	CEDAR				Remove	0		
414	4	CEDAR				To Remain			
415	5	CEDAR				To Remain			
416	14	CEDAR				Remove	7		
417	7	CEDAR				Remove	0		
418	12	CEDAR				Remove	6		
419	7	CEDAR				Remove	0		
420	7	CEDAR				Remove	0		
421	8	CEDAR				To Remain			
422	9	CEDAR				Remove	0		
423	10	CEDAR				To Remain			
424	6	CEDAR				Remove	0		
425	6	CEDAR				Remove	0		
426	10	CEDAR				Remove	0		
427	6.5	CEDAR				To Remain			
530	10	OAK				To Remain			
531	4	CEDAR				To Remain			
532	10	CEDAR				To Remain			
533	4	CEDAR				To Remain			
534	7	CEDAR				To Remain			
540	8	CEDAR				To Remain			
550	8	CEDAR				To Remain			
555	6	CEDAR				To Remain			
556	9	CEDAR				To Remain			
557	8	CEDAR				To Remain			
560	9	CEDAR				To Remain			
561	15	CEDAR				To Remain	0		
562	15	CEDAR				To Remain	0		
563	6	CEDAR				To Remain			
564	7	CEDAR				To Remain			
565	6	CEDAR				To Remain			
566	4	CEDAR				To Remain			
567	13	CEDAR				To Remain	0		
568	7	CEDAR				To Remain			
569	4	CEDAR				To Remain			
570	8	CEDAR				To Remain			
573	6	CEDAR				Remove	0		
574	5	CEDAR				Remove	0		
575	9	CEDAR				To Remain			
576	4	CEDAR				To Remain			
577	18	CEDAR				To Remain			
578	4	CEDAR				To Remain			
579	5	CEDAR				To Remain			
580	4	CEDAR				To Remain			
583	11	CEDAR				To Remain			
584	9	CEDAR				To Remain			
585	4	CEDAR				To Remain			
586	4	CEDAR				To Remain			
587	4	CEDAR				To Remain			
588	11	CEDAR				To Remain			
589	6	CEDAR				To Remain			
601	7	CEDAR				To Remain	0		
602	7.5	CEDAR				Remove	0		
603	5	CEDAR				Remove	0		
604	6.5	CEDAR				Remove	0		
605	12	CEDAR				To Remain			
606	5	CEDAR				To Remain			
607	4	CEDAR				To Remain			
608	14	CEDAR				To Remain			
609	11	CEDAR				To Remain			
610	4	CEDAR				To Remain			
611	20	CEDAR				To Remain			
612	14	CEDAR				To Remain			
613	5	CEDAR				To Remain			
614	14	CEDAR				To Remain			
615	11	CEDAR				Remove	5.5		
616	6	CEDAR				Remove	0		
617	5	CEDAR				Remove	0		
618	7	CEDAR				To Remain	0		
619	12	CEDAR				Remove	6		
620	5	CEDAR				Remove	0		
621	5	CEDAR				Remove	0		
622	5	CEDAR				Remove	0		
623	16	CEDAR				Remove	8		
624	16	CEDAR				Remove	8		
625	5	CEDAR				Remove	0		
626	9	CEDAR				Remove	0		
627	7	CEDAR				Remove	0		
628	7	CEDAR				Remove	0		
629	4	CEDAR				Remove	0		
630	5	CEDAR				Remove	0		
631	7	CEDAR				Remove	0		
632	16	CEDAR				Remove	8		
633	13	CEDAR				Remove	6.5		
634	11	CEDAR				Remove	5.5		
635	13	CEDAR				Remove	6.5		
636	10	CEDAR				Remove	0		
637	32	CEDAR				To Remain			
638	4	CEDAR				Remove	0		
639	5	CEDAR				Remove	0		
640	7	CEDAR				Remove	0		
641	4	CEDAR				Remove	0		
642	5	CEDAR				Remove	0		
643	4	CEDAR				Remove	0		
644	7	CEDAR				Remove	0		
645	5	CEDAR				Remove	0		
646	6	CEDAR				To Remain	0		
647	5	CEDAR				To Remain	0		
648	6	CEDAR				To Remain	0		
649	5	CEDAR				Remove	0		
650	9	CEDAR				Remove	0		
651	4	CEDAR				Remove	0		
652	7	CEDAR				Remove	0		
653	16	CEDAR				To Remain	0		
654	16	CEDAR				To Remain	0		
655	4	ELM				Remove	4		
TOTAL	901						83.0		

Proposed Tree Removal Listing
Rayburn Electric Cooperative-Indoor Shooting Range
March 14, 2025

Location Key	Size DBH (Inches)	Description	Common Name	Comments	Tree Designation	Removal Status	Replacement Caliper Inches		
					Feature	Primary	Non-Protected		
144	4	ELM				Remove	4		
145	16	CEDAR				Remove	8		
413	6	CEDAR				Remove	0		
415	5	CEDAR				Remove	0		
416	14	CEDAR				Remove	7		
417	7	CEDAR				Remove	0		
418	12	CEDAR				Remove	6		
419	7	CEDAR				Remove	0		
420	7	CEDAR				Remove	0		
422	8	CEDAR				Remove	0		
424	6	CEDAR				Remove	0		
425	6	CEDAR				Remove	0		
426	10	CEDAR				Remove	0		
561	7	CEDAR				Remove	0		
573	6	CEDAR				Remove	0		
574	5	CEDAR				Remove	0		
587	4	CEDAR				Remove	0		
601	7	CEDAR				Remove	0		
602	7.5	CEDAR				Remove	0		
603	5	CEDAR				Remove	0		
604	6.5	CEDAR				Remove	0		
615	11	CEDAR				Remove	5.5		
616	6	CEDAR				Remove	0		
617	5	CEDAR				Remove	0		
619	12	CEDAR				Remove	6		
620	5	CEDAR				Remove	0		
621	5	CEDAR				Remove	0		
622	5	CEDAR				Remove	0		
623	16	CEDAR				Remove	8		
624	16	CEDAR				Remove	8		
625	5	CEDAR				Remove	0		
626	9	CEDAR				Remove	0		
627	7	CEDAR				Remove	0		
628	7	CEDAR				Remove	0		
629	4	CEDAR				Remove	0		
630	5	CEDAR				Remove	0		
631	7	CEDAR				Remove	0		
632	16	CEDAR				Remove	8		
633	13	CEDAR				Remove	6.5		
634	11	CEDAR				Remove	5.5		
635	13	CEDAR				Remove	6.5		
636	10	CEDAR				Remove	0		
637	32	CEDAR				To Remain			
638	4	CEDAR				Remove	0		
639	5	CEDAR				Remove	0		
640	7	CEDAR				Remove	0		
641	4	CEDAR				Remove	0		
642	5	CEDAR				Remove	0		
643	4	CEDAR				Remove	0		
644	7	CEDAR				Remove	0		
645	5	CEDAR				Remove	0		
646	6	CEDAR				To Remain	0		
647	5	CEDAR				To Remain	0		
648	6	CEDAR				To Remain	0		
649	5	CEDAR				Remove	0		
650	9	CEDAR				Remove	0		
651	4	CEDAR				Remove	0		
652	7	CEDAR				Remove	0		
653	16	CEDAR				To Remain	0		
654	16	CEDAR				To Remain	0		
655	4	ELM				Remove	4		
TOTAL	418						83.0		



LEGEND

- EXISTING TREES TO REMAIN
- EXISTING TREES TO BE REMOVED

TREE MITIGATION REQUIREMENTS
Site Trees Existing- See Tree Listing

Site Trees Removed- See Proposed Tree Removal Listing
58 Total Caliper inches to be removed that require mitigation

Tree Designation-
Non-Protected- 0 Caliper Inch required to replace
Secondary- 1/2" Caliper Inch per 1" Caliper removed required to replaced
Primary- 1" Caliper Inch per 1" Caliper removed required to replaced
Feature- 2" Caliper Inch per 1" Caliper removed required to replaced

Calculation-
Replacement Inches needed 83 , Replace with 4" Caliper Trees
83/4"= 21 Trees Required

21 CANOPY TREES REQUIRED
21 CANOPY TREES PROVIDED

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____.

WITNESS OUR HANDS, this ___ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

0	03/31/2025	BS	BS	BS	ISSUED FOR REVIEW
REV	DATE	REV. BY	P.M.	ENG.	REVISION/RELEASE

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Rayburn Electric COOPERATIVE

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rdelta
ENGINEERS

DUNKIN SIMS STOFFELS INC.

REGISTERED LANDSCAPE ARCHITECT
ROBERT P. STOFFELS
STATE OF TEXAS
1025

THIS DRAWING IS RELEASED FOR REVIEW FOR BIDDING AND PERMITTING UNDER THE AUTHORITY OF ROBERT P. STOFFELS, LA #1025 ON April 1, 2025.

JOB NO.	3036-21	DESIGN BY	BS
CREATED		CODE	
PLOTTED	3/31/2025	CHECKED BY	BS
LAST UPDATE BY			
DRAWN:	MW	SCALE:	AS NOTED
CHECKED:		DRAWING NO.:	ISSUE:
APPROVED:		LP-1	0
FILENAME:			

REC CAMPUS - INDOOR SHOOTING LANDSCAPE PLANS

TREESCAPE PLAN



April 1, 2025

City of Rockwall, Texas
385 S. Goliad Street
Rockwall, Texas 75087

**ATTENTION: Mr. Henry Lee, AICP
Planner**

**SUBJECT: Rayburn Electric Cooperative Campus
Indoor Shooting Range
Case #SP2025-012
Variance Requests**

Dear Mr. Lee,

Pursuant to submittal of the project Site Plan and supporting documents and on behalf of Rayburn Electric Cooperative (REC); we seek approval of the following variance requests to address items not in compliance with the City of Rockwall Unified Development Code (UDC):

- Exterior Stone coverage percentage less than 20 percent on building facades, (proposed exterior material composition is 80 percent split face CMU, 16 percent stucco, and four percent stone).
- Cementitious material exceeding 50 percent on building facades.
- Noncompliance with four-sided architecture and articulation requirements.
- Landscape berm waiver (Mims Road frontage).
- Sidewalk waiver (Mims Road frontage).

The shooting range use of the building does not lend itself to articulation and four-sided architecture. The architecture of the building is consistent with recent building additions to the Rayburn Campus for which similar variances were approved. The City of Rockwall Architectural Review Board (ARB) approved the building architecture at their March 25, 2025 meeting.

The landscape berm height is limited to approximately one foot due to the location of the existing Campus fence and the profile of proposed Mims Road. Relocation of the fence to

achieve a 30-inch high berm is an undue hardship for little benefit. The proposed building finished floor elevation is approximately nine feet below the proposed Mims Road top of curb and the parking spaces vary from ten to fourteen feet lower than the road. This difference in elevation helps reduce the visibility of the site parking and building improvements from the road. Rayburn also proposes tree plantings in excess of those required to better “hide” the building from street view. The additional tree plantings will be included in the detailed design.

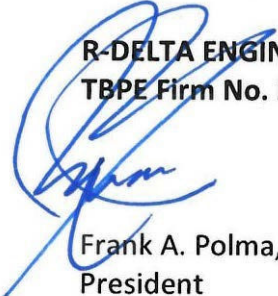
With regard to the sidewalk waiver, Rayburn requests that the sidewalk be deferred until a future date when connectivity is available. Rayburn is currently providing significant funding for other Mims Road construction and the additional sidewalk construction with no connectivity is an undue hardship.

Proposed compensatory measures include the following:

- Increased building articulation on the front building façade.
- Peaked roof forms and varied heights on the front building façade.
- Building Canopies.
- Masonry building materials in percentages greater than surrounding properties.
- Additional onsite tree plantings

We greatly appreciate your consideration of these variance requests.

Best Regards,



R-DELTA ENGINEERS, INC.
TBPE Firm No. F-001515
Frank A. Polma, P.E.
President

Cc: Mr. David Naylor, P.E. – Rayburn Electric Cooperative
Mr. Stephen Geiger, P.E. – Rayburn Electric Cooperative